

CITY OF MURFREESBORO PLANNING COMMISSION AGENDA

City Hall, 111 W. Vine Street, Council Chambers

**NOVEMBER 19, 2025
1:00 PM**

**Ken Halliburton
Chair**

- 1. Call to order.**
- 2. Determination of a quorum.**
- 3. Public Comments.**
- 4. Approve minutes of the November 5, 2025 Planning Commission meeting.**
- 5. Consent Agenda:**
 - a. Autozone Store #10568 [2025-3083] site plan for 7,381 ft² retail store on 1.58 acres zoned CH located along South Rutherford Boulevard, Autozone Development, LLC developer. (Project Planner: Holly Smyth)
 - b. Manny's Towing [2025-3121] site plan for 1,364 ft² building for a wrecker service with storage yard on 1.41 acres zoned H-I located along Elam Farms Parkway, Manuel R. Cervera developer. (Project Planner: Holly Smyth)
 - c. Southpointe Business Park, Lot 17 [2025-2085] horizontal property regime plat for 2 commercial units on a 3.24-acre lot zoned L-I located along Southpointe Way, Beacon Properties developer. (Project Planner: Marc Shackelford-Rowell)
 - d. The Gardens of Three Rivers, Resubdivision of Lots 49 & 52 [2025-2086] final plat for 6 lots on 0.72 acres zoned PRD located along Barringer Lane and Audubon Lane, Patterson Company, LLC developer. (Project Planner: Marc Shackelford-Rowell)
 - e. James and Lisa Davis, Lots 1 & 2 [2025-2088] final plat for 2 lots on 5.61 acres zoned CL and RM-16 located along Halls Hill Pike and Flat Rock Road, James and Lisa Davis developers. (Project Planner: Marc Shackelford-Rowell)
 - f. Shelton Grove, Section 1 [2025-2090] final plat for 55 lots on 15.8 acres zoned PUD located along Manson Court, Southcoast DFH Nashville, LLC developer. (Project Planner: Marc Shackelford-Rowell)

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- g. Sullivan's Retreat Townhomes [2025-2092] horizontal property regime plat for 80 units on a 12.11-acre lot zoned PRD located along Carolina Court, Cornerstone Development, LLC developer. (Project Planner: Marc Shackelford-Rowell)
- h. Singer Park, Lot 3 [2025-3123] site plan for a 702 ft² coffee shop on 0.43 acres zoned L-I located along Northwest Broad Street, Michael Hazlett developer. (Project Planner: Brad Barbee)
- i. Robert Luther, Resubdivision of Lot 1 [2025-2087] final plat for 3 lots on 1.13 acres zoned RS-10 located along Dill Lane and Horncastle Drive, BNA Homes developer. (Project Planner: Stephen Anthony)
- j. Evergreen Farms, Resubdivision of Lots 1002A and 1002B [2025-2089] final plat for 1 lot on 3.57 acres zoned PUD located along Saint Andrews Drive, R&R Partnership developer. (Project Planner: Stephen Anthony)
- k. Barfield Road Substation [2025-2083] final plat for 1 lot on 4.38 acres zoned CH located along Barfield Road, Middle Tennessee Electric developer. (Project Planner: Richard Donovan)
- l. Salem Glen, Lot 14 [2025-3120] site plan for two 2,560 ft² office buildings on 0.55 acres zoned OG located along Oval Hesson Lane and Saint Andrews Drive, Wayne Belt developer. (Project Planner: Richard Donovan)
- m. Take 5 [2025-3119] site plan for a 1,643 ft² motor vehicle service building on 0.72 acres zoned CH located along New Salem Highway, Jarman Development developer. (Project Planner: Richard Donovan)

6. GDO:

On Motion

- a. LC Henley Apartments fence [2025-3115] site plan review and initial/final design review for fencing for dog park at an existing multi-family development on 20.03 acres zoned PUD and GDO-1 located along Robert Rose Drive, Master Fence developer. (Project Planner: Amelia Kerr)
- b. Redstone Federal Credit Union fence [2025-3122] site plan review and initial/final design review for fencing at an existing credit union on 2.39 acres zoned MU, CH, and GDO-1 located at 2404 Medical Center Parkway, Redstone Federal Credit Union developer. (Project Planner: Amelia Kerr)

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- c. Clari Park, Lot 16 [2025-1019] preliminary plat for 3 lots on 6.44 acres zoned CH, PUD, and GDO-1 located along Willowoak Trail, Hines Clari Park Land Holdings, LLC developer. (Project Planner: Brad Barbee)
- d. Promenade at Clari Park, Phase 2 [2025-2082] horizontal property regime plat for 88 dwelling units zoned PUD and GDO-1 located along Willowoak Trail, Ashton Nashville Residential, LLC developer. (Project Planner: Brad Barbee)
- e. Clari Park, Lot 18 [2025-2091] horizontal property regime plat for 80 residential units on an 8.06-acre lot zoned PUD and GDO-1 located along Roby Corlew Lane and Robert Rose Drive, Hines Clari Park Land Holdings, LLC developer. (Project Planner: Brad Barbee)

7. Plats and Plans:

- a. Manchester Farms [2025-2084] final plat for 1 lot on 34.8 acres zoned RM 16 along Manchester Pike and Elam Farms Parkway, CC Manchester Farm, LP developer. (Project Planner: Holly Smyth)
- b. Chick-fil-A #5984 [2025-3104] site plan for a 5,183 ft² restaurant on 2.45 acres zoned PCD (Marketplace at Savannah Ridge PCD) located along South Church Street and Joe B Jackson Parkway, Brent Edmiston on behalf of Chick-fil-A developer. (Project Planner: Richard Donovan)

8. New Business:

- a. Zoning application [2025-423] for approximately 5.3 acres located at 210 Chaffin Place to be rezoned from CH to PND (Redeemer Classical Academy PND), Redeemer Classical Academy applicant. (Project Planner: Holly Smyth)
(Recommended Public Hearing Date: December 3, 2025)

9. Staff Reports and Other Business.

- a. Mandatory Referral [2025-716] to consider the abandonment of a drainage and detention easement on property located along Captain Joe Fulghum Drive, Michael Hazlett applicant. (Project Planner: Stephen Anthony)
- b. Monthly update from Director of Land Management and Planning.

10. Adjourn.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION NOVEMBER 5, 2025

6:00 P.M.

CITY HALL

MEMBERS PRESENT

Ken Halliburton, Chair
Jami Averwater, Vice-Chair
Tristan Carroll
Reggie Harris
Bryan Prince
Kelly G Rollins
Shawn Wright

STAFF PRESENT

Darren Gore, City Manager
Greg McKnight, Exec. Dir. Dev. Services
Ben Newman, Dir. of Land Mngt. & Planning
Matthew Blomeley, Assistant Planning Director
Richard Donovan, Principal Planner
Brad Barbee, Principal Planner
Marc Shackelford-Rowell, Planner
Katie Noel, Project Engineer
Lee Holliman, Project Engineer
Carolyn Jaco, Recording Assistant
John Tully, Assistant City Attorney

1. Call to order.

Chair Ken Halliburton called the meeting to order.

2. Determination of a quorum.

Chair Ken Halliburton determined a quorum was present.

3. Public Comments.

Chair Ken Halliburton announced that no one signed up to speak during the Public Comment portion of the agenda.

4. Approve minutes of the October 15, 2025 Planning Commission regular meeting and the October 15, 2025 Planning Commission/City Council Joint Conceptual Workshop meeting.

Mr. Shawn Wright made a motion to approve the minutes of the October 15, 2025 Planning Commission regular meeting and the October 15, 2025 Planning Commission/City Council

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Joint Conceptual Workshop meeting; the motion was seconded by Mr. Tristan Carroll and carried in favor by the following vote:

Aye: Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Kelly G Rollins
Shawn Wright
Ken Halliburton

Nay: None

5. **Public Hearings and Recommendations to Council:**

Annexation petition and plan of services [2025-506] for approximately 32.1 acres located along Old Salem Road, Sherry Wade Metzler applicant. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Brian Grover (landscape architect), Mr. Rob Mochan (landscape architect) and Mr. Jackson Nichols of Patterson Company were in attendance representing the application.

Chair Ken Halliburton opened the public hearing.

1. **Mr. Thomas Bruff, 3036 Berry Patch Trail** – spokesman for his neighborhood opposes the annexation petition due to issues such as traffic safety, wetlands, drainage, and overcrowding of schools.
2. **Mr. Chris Smith, 4419 Windrow Road** – opposes the annexation petition due to the ongoing flooding in the area.

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3. Mr. Kenneth Jacobson, 5174 Danbury Court –spokesman for his neighborhood opposes the annexation petition and currently has 105 signatures to that effect.

Chair Ken Halliburton closed the public hearing.

The Planning Commission discussed traffic, stormwater, wetlands, impact on schools, and the relationship of this property to the Urban Growth Boundary.

Mr. Shawn Wright made a motion to approve the annexation petition and plan of services subject to all staff comments; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Kelly G Rollins
Shawn Wright
Ken Halliburton

Nay: None

Zoning application [2024-419] for approximately 27.9 acres located along Old Salem Road to be zoned PRD (Old Salem PRD) simultaneous with annexation, Patterson Company, LLC applicant. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Brian Grover (landscape architect), Mr. Jackson Nichols (developer), and Mr. Rob Mochan (landscape architect) were in attendance representing the application. Mr. Brian Grover gave a PowerPoint presentation of the Pattern Book, which is maintained in the

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permanent files of the Planning Department and is incorporated into these Minutes by reference.

Chair Ken Halliburton opened the Public Hearing.

1. **Mr. Jay McCraw, 2597 N. Walter Leathers Drive** – opposes this application and expressed concerns regarding traffic and compatibility.
2. **Mr. Mark Little, 2302 N. Walter Leathers Drive** – opposes this application and expressed concerns regarding traffic safety.
3. **Ms. Kelly Hall, 2451 N. Walter Leathers Drive** – opposes this application due to density and traffic safety concerns.
4. **Mr. Thomas Bruff, 3036 Berry Patch Trail** – opposes this application due to traffic and flooding concerns.

Chair Ken Halliburton closed the public hearing.

There was discussion between the Planning Commission and Staff regarding flooding and traffic safety.

There being no further discussion, Ms. Jami Averwater made a motion to approve the zoning application subject to all staff comments; the motion was seconded by Mr. Brian Prince and carried in favor by the following vote:

Aye: Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Kelly G Rollins
Shawn Wright
Ken Halliburton

Nay: None

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Zoning application [2025-422] for approximately 9.6 acres located north of Ashers Fork Drive to be rezoned from RS-6 to RS-A2, O'Brien Loyd Venture applicant. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Chair Ken Halliburton opened the Public Hearing. ‘

1. Mr. Allen Nowaczyk, 2117 Barringer Lane – opposes this zoning application due to density and compatibility concerns.

Chair Ken Halliburton closed the public hearing.

The Planning Commission further discussed the request, including the increased density.

There being no further discussion, Mr. Bryan Prince made a motion to approve the zoning application subject to all staff comments; the motion was seconded by Mr. Kelly G Rollins and carried in favor by the following vote:

Aye: Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Kelly G Rollins
Shawn Wright
Ken Halliburton

Nay: None

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6. Staff Reports and Other Business:

Mandatory Referral [2025-715] to consider the abandonment and relocation of a sanitary sewer easement on City-owned property located along Cherry Lane, SEC, Inc. applicant. Mr. Marc Shackelford-Rowell presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Shawn Wright made a motion to approve the mandatory referral subject to all staff comments; including all recommended conditions of approval in the staff report; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Kelly G Rollins
Shawn Wright
Ken Halliburton

Nay: None

In-N-Out Burger Overflow Queueing and Parking [2025-3124] initial and final design review and site plan review for a temporary (120 days maximum) overflow queueing area, a temporary overflow parking area, and a temporary staging area on two properties zoned CH and GDO-1 located along Willowoak Trail and Robert Rose Drive, In-N-Out Burger developer. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

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Mr. Jeff Bryant (developer) was in attendance representing the application.

There being no further discussion, Mr. Shawn Wright made a motion to approve the application subject to all staff comments; the motion was seconded by Mr. Kelly G Rollins and carried in favor by the following vote.

Aye: Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Kelly G Rollins
Shawn Wright
Ken Halliburton

Nay: None

Consider naming the new “Cherry Lane Extension” west of I-840 to “Stonesbattle Parkway”. Mr. Matthew Blomeley presented the proposal to name the new Cherry Lane Extension west of I-840 to Stonesbattle Parkway.

There being no further discussion, Mr. Shawn Wright made a motion to approve the renaming of the new Cherry Lane Extension west of I-840 to “Stonesbattle Parkway” subject to all staff comments; the motion was seconded by Mr. Kelly G Rollins and carried in favor by the following vote.

Aye: Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Kelly G Rollins
Shawn Wright
Ken Halliburton

Nay: None

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MURFREESBORO PLANNING COMMISSION
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7. Adjourn.

There being no further business, the meeting adjourned at 7:50 P.M.

Chair

Secretary

BN: cj

MURFREESBORO PLANNING COMMISSION STAFF COMMENTS – NOVEMBER 19, 2025 PROJECT PLANNER: HOLLY SMYTH

5.a. Autozone Store #10568 [2025-3083] site plan for 7,381 ft2 retail store on 1.58 acres zoned CH located along South Rutherford Boulevard, Autozone Development, LLC developer.

This is the site plan review for an retail automotive sales for an Autozone building located on the eastside of South Rutherford Boulevard, south of Haven Drive and the existing Raceway gas station, and north of Chandler Place, highlighted in the picture below. The most recent plat map adjustment to the Hearthwood Development Subdivision was recorded January 2025 through plat book 51 page 84. The project site is located on Lot 3 of this subdivision. A rear alley is being constructed from Haven Drive to the south-eastern edge of Lot 3 with the project. Haven Drive is listed as a recommended 3 lane roadway in the 2040 Major Transportation Plan. Future developments of Lots 4 and 5 will continue this rear access drive to ultimately tie back into Chandler Place. Additionally, a regional drainage basin is being constructed on Lot 5 at the far southern end of the subdivision adjacent to Chandler Place that will be required to be operational before any certificates of occupancy are issued. Existing shared access easements will need to be modified to be in alignment with the proposed project drive aisles.



The proposed project is generally consistent with City standards and is recommended for approval subject to all staff comments.

EXHIBIT A – STAFF COMMENTS

These remaining comments require changes to the site plan and or architecture of proposed structure(s). Please reach out to the reviewer listed for questions regarding the comments.

Development Services – Planning-

Holly Smyth, 615-893-6441, hsmyth@murfreesborotn.gov

1. *Please be advised that plans approved after July 1, 2023 are subject to the City's Impact Fee Ordinance. If further information is needed, please contact the Planning Department.*
2. With resubmittal provide staff comment response letter with revisions noted and clouded on the plan.
3. Provide a revision data block on all pages (including elevation page) with a brief description and date of all revisions.
4. **Survey Map of Existing Conditions:** Need to show label property owner, zoning and parcel info for abutting parcel to the east for Rushing Family Trust with the RM (County) zoning.
5. **Site Plan Sheet C1.0 (and throughout plan set):**
 - a. Modify note regarding the site utilizing regional ponding system for drainage to reference PB 51/PG 84 not PB 40/229.
6. **Grading:** *It appears that grading is proposed offsite outside of any easement area and needs to have a signed letter of entry from the property owner of lot 4 for doing earth moving work on their lot (as it is anticipated that the property ownership will be different between lot 3 and lot 4 at sometime during the course of construction).*
7. **Architecture Elevations:**
8. Provide a cumulative calculation table for façade materials of all 4 walls where glazing/voids are part of the calculation to equal 100%, similar to the individual facades not separate. Any approval of this plan should be conditioned upon Staff's final review and approval of the architecture prior to the issuance of the permits.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

1. No comments, see below.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. Utilize the City of Murfreesboro Standard Tree Specification for all trees included on the plant materials schedule. **Add the specification for each tree in the Remarks column.** *Comment not addressed.*
2. Revise the landscape design to provide the required type D buffer where CH zoning is adjacent to RS (eastern property line). *The required 15ft wide type D buffer should be shifted to the western side of the drive isle behind the sidewalk. Provide adequate separation from the sidewalk to account for future plant growth. The required buffer has not been provided.*

Building and Codes Department

Trey Hugh, 615.893.3750, whugh@murfreesborotn.gov

1. Auto Zone Rear elevation appears less than 10' from property line this wall will likely be required to be rated.

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

1. No comments.

Consolidated Utility District

Will Steele, 615.225.3311, wsteele@ cudrc.com

1. Not applicable

Middle Tennessee Electric

Ben Martin, 615.494.1621, benmartin@mte.com

1. *CUD/MTE/MWRD review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until CUD/MTE/MWRD has issued its formal approval. The plans shall comply with all applicable CUD/MTE/MWRD standards.*

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1. Project may require additional fire hydrants. Contact the FM to confirm the construction type.

Murfreesboro Water Resources Department

Anita Heck, 615.890.0862, aheck@murfreesborotn.gov

1. *CUD/MTE/MWRD review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until CUD/MTE/MWRD has issued its formal approval. The plans shall comply with all applicable CUD/MTE/MWRD standards.*

EXHIBIT B - INFORMATIONAL & PROCEDURAL COMMENTS

These comments contain information and action items that must be completed before a Certificate of Occupancy can be released by the Planning Department.

Development Services – Planning

Holly Smyth, 615.893.6441, hsmyth@murfreesborotn.gov

- 1) **Modify and record new 24' wide north-south access easement to be within the drive aisle, and removing the old access easement which may require a resubdivision plat map for lot 3 prior to certificate of occupancy.**
- 2) Per the engineer's certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (5/9/2023) for the City of Murfreesboro, Panel **47149C0280J**.
- 3) The project frontages is located along South Rutherford Boulevard, designated as a "Major Arterial" roadway with a back alley that will touch down onto Haven Drive which is on the City's 2040 MTP (Major Transportation Plan) as a recommended 3-lane roadway improvement project, with the intent to tie into Double Springs Road in the long term, should adjacent properties be annexed.
- 4) Designate an area on the plans for construction debris storage. Unkept sites shall not be permitted and may be subject to stop-work orders.
- 5) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case or new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

1. Shared Access noted as to be constructed with the Hearthwood Lot 5 development will be required to be constructed prior to the issuance of this lots C/O regardless of if that development moves forward.
2. Stormwater pond that treats runoff from this lot that was proposed with the subdivision plans must be complete and certified prior to the issuance of the certificate of occupancy.
3. Access easement/backage road is required to be constructed prior to the issuance of the Certificate of Occupancy.
4. A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Engineering Department and must be approved by the city engineer.
5. Prior to a land disturbance permit, provide a stormwater pollution prevention plan (SWPPP) to be reviewed and approved by the City Engineer prior to any permit. Include

provisions for erosion and sediment control with details in general compliance with the TDEC Erosion and Sediment Control Handbook Fourth Edition.

6. Prior to Land Disturbance Permit being issued, a long-term operation and maintenance plan and associated agreement must be reviewed and approved by the Murfreesboro Water Resources Department.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No comments

Building and Codes Department

Trey Hugh, 615.893.3750, whugh@murfreesborotn.gov

1. No Comments.

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

1. No comments.

Consolidated Utility District

Will Steele, 615.225.3311, wsteele@ cudrc.com

1. See above

Middle Tennessee Electric

Ben Martin, 615.494.1621, benmartin@mte.com

1. See above

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1. See above

Murfreesboro Water Resources Department

Anita Heck, 615.890.0862, heck@murfreesborotn.gov

1. See above

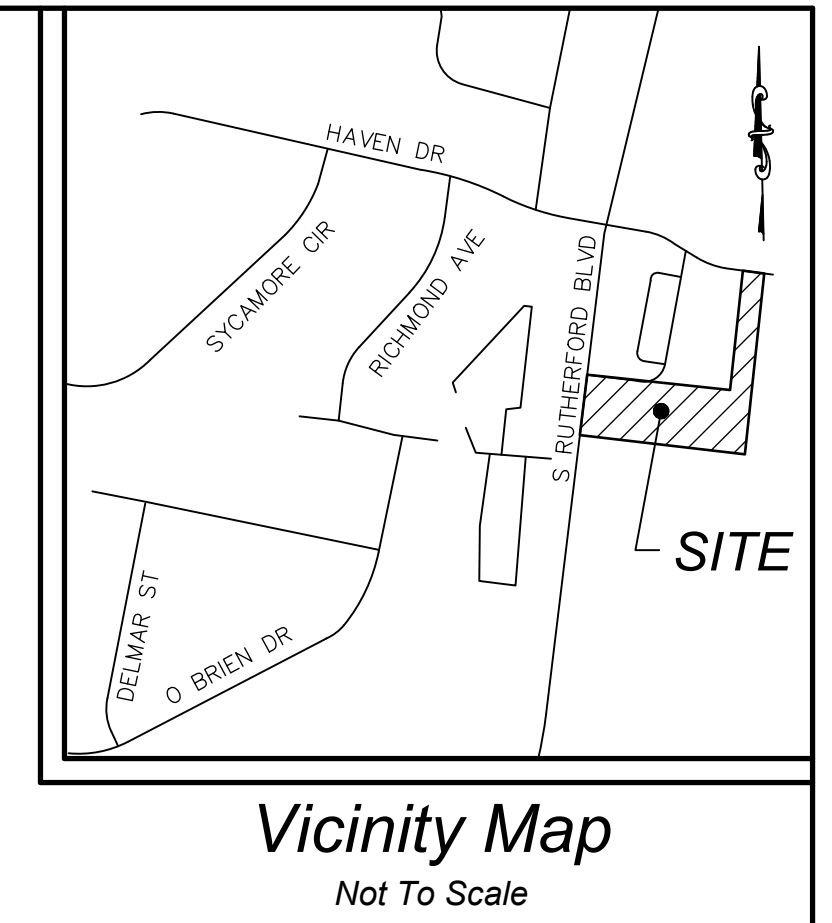
GENERAL NOTES

- 1. PROPERTY LINE AND RIGHT-OF-WAY MONUMENTS SHALL NOT BE DISTURBED BY CONSTRUCTION. IF DISTURBED, THEY SHALL BE RESET TO THEIR ORIGINAL LOCATIONS AT THE CONTRACTOR'S EXPENSE BY A REGISTERED LAND SURVEYOR.
2. PROOF ROLL BUILDING AND ALL PARKING AREAS. NOTIFY AUTOZONE OF ANY UNACCEPTABLE AREAS.
3. BUILDING DIMENSIONS SHOWN ON THE CIVIL ENGINEERING PLANS ARE FOR REFERENCE PURPOSES ONLY, CONTRACTOR SHALL USE THE ARCHITECTURAL AND STRUCTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
4. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED.
5. ALL SIDEWALKS, CURB AND GUTTER, STREET PAVING, CURB CUTS, DRIVEWAY APPROACHES, HANDICAP RAMPS, ETC. CONSTRUCTED OUTSIDE THE PROPERTY LINE IN THE RIGHT-OF-WAY SHALL CONFORM TO ALL MUNICIPAL AND/OR STATE SPECIFICATIONS AND REQUIREMENTS.
6. ALL DISTURBANCE INCURRED TO ANY ADJOINING PROPERTY DUE TO CONSTRUCTION OR DEMOLITION SHALL BE RESTORED TO THE PREVIOUS CONDITION OR BETTER, AND TO THE SATISFACTION OF THE CITY OR STATE AUTHORITY.
7. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO AUTOZONE AT THE END OF CONSTRUCTION.
8. CONTRACTOR SHALL PROVIDE FULL AS-BUILT TOPOGRAPHIC SURVEY OF THE SITE, CERTIFIED BY A LAND SURVEYOR LICENSED IN THE STATE OF TENNESSEE.

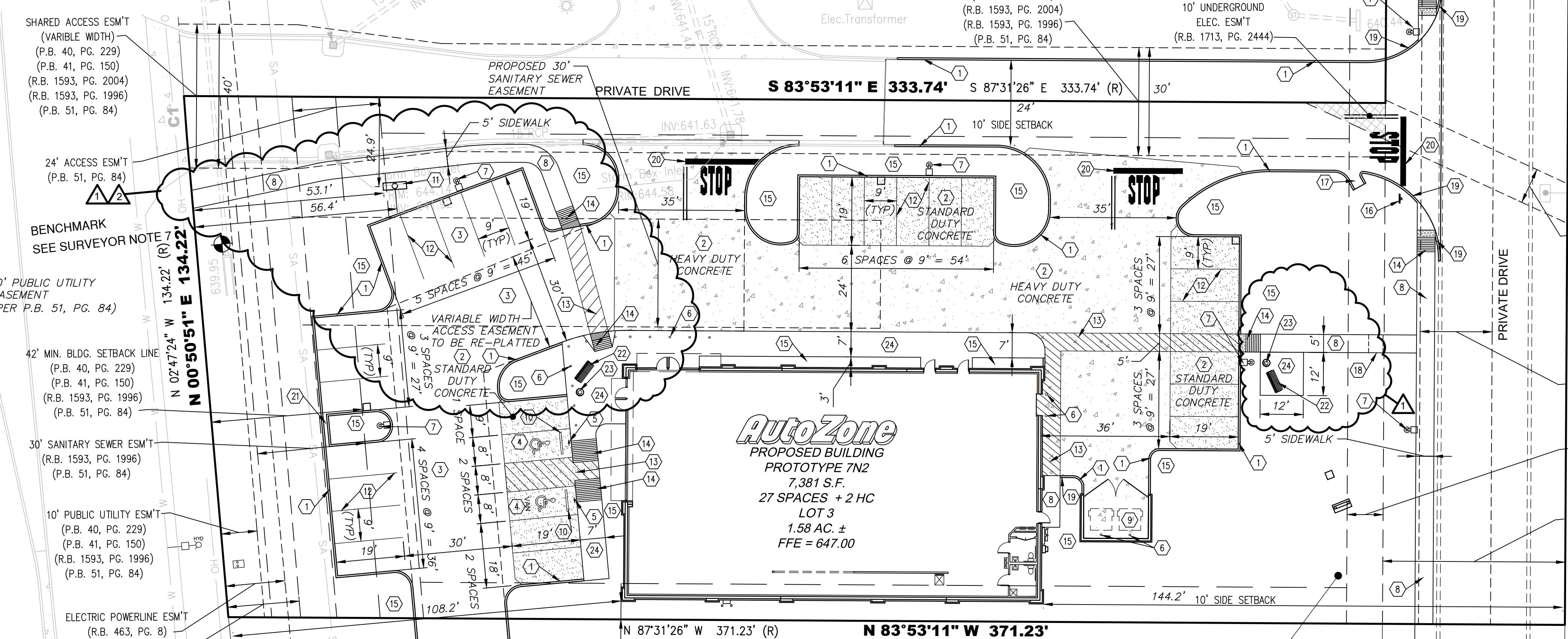
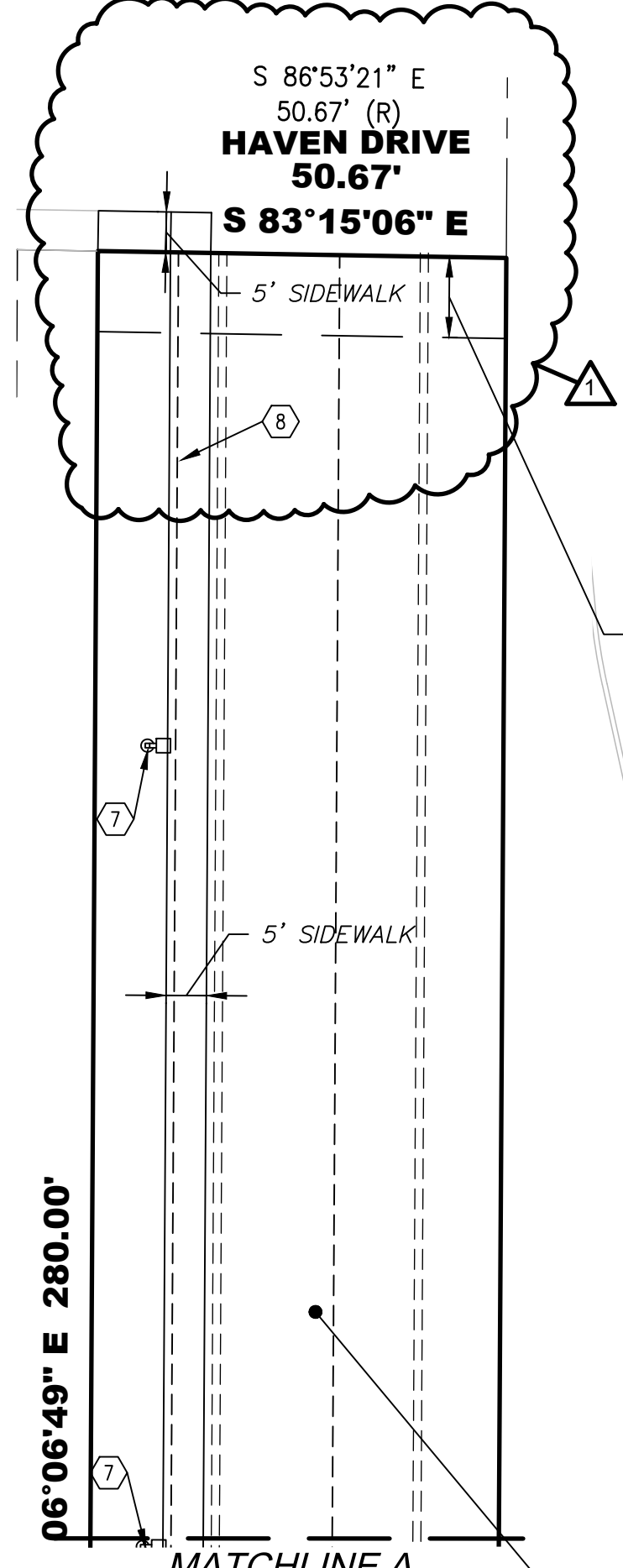
BULK AREA REQUIREMENTS table with columns: ITEM, REQUIREMENTS, PROVIDED. Includes location: S RUTHERFORD BLVD, MURFREESBORO, TN 37128 and parcel ID: 103K-E-008.00-000.

PARKING INFORMATION table with columns: ITEM, REQUIREMENTS, PROVIDED. Includes building size: 7,381 SF and parking required: 1 SP. PER 300 S.F. = 25 SPACES OF GROSS FLOOR AREA.

OFFSITE DETENTION NOTE: LOT 3 UTILIZES AN OFFSITE DETENTION BASIN AS PART OF THE HEARTWOOD DEVELOPMENT. SEE PB 40/229. OFFSITE DETENTION MUST BE FULLY INSTALLED FOR CERTIFICATE OF OCCUPANCY TO BE ISSUED.



BENCHMARK NOTE: (PER SURVEY - SEE PLAN) NAD'83, VERTICAL DATUM NAVD '88. NORTHING: 543395.49, EASTING: 1864728.21, ELEV.: 642.42



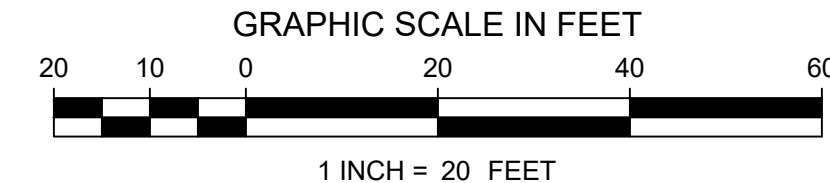
- KEYNOTES: 1 CONCRETE CURB - SEE DETAILS 1 & 2/C1.A. 2 CONCRETE PAVING - SEE DETAIL 4/C1.A. EXPANSION AND CONTROL JOINTS - SEE DETAILS 21 & 22/C1.A. MAXIMUM SPACING FOR CONTROL JOINTS IS 15'-0" O.C. EACH WAY. 3 ASPHALT PAVING - SEE DETAIL 5/C1.A. G.C. TO PROVIDE ALTERNATE BID FOR CONCRETE PAVING. 4 HANDICAP PARKING AREA - SEE DETAILS 6 & 7/C1.A. 5 HANDICAP PARKING SIGN - SEE DETAIL 12/C1.A. 6 PIPE GUARD - SEE DETAILS 14, 15 & 16/C1.A. 7 CONCRETE LIGHT POLE BASE - SEE DETAIL 13/C1.A. LOCATE 3'-0" FROM BACK OF CURB OR SIDEWALK TO CENTER OF BASE. AIM LIGHT FIXTURE IN DIRECTION AS INDICATED. 8 CONCRETE SIDEWALK - SEE DETAIL 19 & 20/C1.A FOR SIDEWALKS AROUND BUILDING. 9 DUMPSTER LAYOUT - 8' HIGH MASONRY ENCLOSURE W/ GATES - SEE DETAILS 8, 9, 10 & 11/C1.A. 10 6'-0" LONG CONCRETE WHEEL STOP, PINNED TO PAVEMENT - SEE DETAIL 17/C1.A. LOCATE 2'-6" FROM FACE OF CURB OR SIDEWALK. 11 MONUMENT SIGN 6'-6" X 10'-6" X 16'-0" OAH. GENERAL CONTRACTOR TO FURNISH AND INSTALL SUPPORT POLE, FOUNDATION, ELECTRICAL CONNECTION, AND MASONRY BASE. AUTOZONE SIGN VENDOR TO FURNISH AND INSTALL THE SIGN CABINET UNDER SEPARATE PERMIT. 12 4" WIDE PARKING STRIPE PAINTED WHITE (TYP.). 13 4" WIDE DIAGONAL STRIPES PAINTED WHITE @ 2 FT. O.C. 14 CONCRETE HANDICAP RAMP - MAXIMUM SLOPE 1:12 (8.33%) (PER A.D.A. REQUIREMENTS). MAXIMUM CROSS SLOPE 1:50 (2.00%). 15 NEW LANDSCAPE AREA - PROVIDE SOD AND 3" TOPSOIL - SEE SHEET L1.0 FOR ADDITIONAL INFORMATION. 16 STOP SIGN - SEE DETAIL 25/C1.A. 17 CONCRETE FLUME - SEE DETAIL SHEET C1.5. 18 DRAIN UNDER SIDEWALK. SEE DETAIL SHEET C1.5. 19 TAPER CURB TO FLUSH IN 4 FEET. 20 PAVEMENT MARKINGS - SEE DETAIL 26/C1.A. 21 CONCRETE FLUME TYPE B - SEE DETAIL SHEET C1.5. 22 PARK BENCH - SEE DETAIL SHEET C1.5. 23 TRASH RECEPTACLE - SEE DETAIL SHEET C1.5. 24 CONCRETE SIDEWALK WITH STAMPED CONCRETE FINISH (HERRINGBONE PATTERN).

REAR ACCESS DRIVE (BY OTHERS) - DRIVE TO BE CONSTRUCTED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

LEGEND: SEE SHEET C0.1 FOR LEGEND. FLOOD NOTE (PER SURVEY): BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE(S) X OF THE FLOOD INSURANCE RATE MAP NUMBER 47149C0280J WHICH BEARS AN EFFECTIVE DATE OF 05-09-2023 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

UTILITY NOTE: LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE BASED UPON AN ALTA/NSPS LAND TITLE SURVEY PREPARED BY CROWE - WHEELER AND ASSOCIATES. NEITHER THE ENGINEER NOR HIS REPRESENTATIVES HAVE VERIFIED OR OBSERVED THE ACTUAL INSTALLATION OF THE UTILITIES SHOWN. EXACT LOCATIONS OF ALL EXISTING UTILITIES ARE NOT CERTAIN.

UTILITY PROTECTION NOTE: ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER "TENNESSEE 811" (TOLL-FREE PHONE NO. 1-800-351-1111 OR LOCAL 615-367-1110), 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATION OF EXISTING BELOW GROUND UTILITIES (I.E.: CABLES, ELECTRICAL WIRES, TELEPHONE LINES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.



PRISM ENGINEERING logo and contact information: 2309 WATTERSON TRAIL, SUITE 200, LOUISVILLE, KENTUCKY 40299. OFFICE: (502) 491-8891, FAX: (502) 491-8898. WWW.PRISM-CIVIL.COM. © COPYRIGHT 2025

Project information sidebar: AutoZone Store No. 10568, S RUTHERFORD BLVD, MURFREESBORO TN 37128. Includes a REVISIONS table, owner/developer information (AUTOZONE DEVELOPMENT LLC), and a large 'NOT FOR CONSTRUCTION FOR REVIEW ONLY' stamp.

PLANT MATERIALS SCHEDULE

Table with columns: TYPE, ABBV, QTY, BOTANICAL NAME, COMMON NAME, CONT, SIZE, SPACING, REMARKS. Lists various trees and shrubs like Acer rubrum, Crataegus, Gleditsia, etc.

GROUNDCOVERS

Table with columns: ABBV, QTY, BOTANICAL NAME, COMMON NAME, CONT, SIZE, SPACING, REMARKS. Lists groundcovers like Liriope muscari.

- AREAS TO BE MULCHED
SHREDDED HARDWOOD - NATURAL COLOR
FORMAL OPEN SPACE WITH STAMPED CONCRETE FINISH (HERRINGBONE PATTERN)
OTHER FORMAL OPEN SPACE

REFER TO SHEET L1.1 FOR ADDITIONAL INFORMATION.

LANDSCAPE CALCULATIONS

FRONT (WEST) PLANTING YARD (8')

TREES REQUIRED: 1 ORNAMENTAL TREE PER 25 LF (OVERHEAD UTILITIES)
145 LF/25 = 6 TREES
TREES PROVIDED: 6 TREES

SHRUBS REQUIRED: 1 PER 5 LF OF PLANTING YARD

145 LF/5 = 29 SHRUBS
SHRUBS PROVIDED: 29 SHRUBS

NORTH PLANTING YARD (5')

TREES REQUIRED: 1 SHADE TREE PER 40 LF
209 LF/40 = 5 TREES
TREES PROVIDED: 5 TREES

SOUTH PLANTING YARD (5')

TREES REQUIRED: 1 SHADE TREE PER 40 LF
319 LF/40 = 8 TREES
TREES PROVIDED: 6 SHADE TREES
2 ORNAMENTAL TREES

TYPE D BUFFER ALONG EAST PROPERTY BOUNDARY - 124 LF

SHADE TREES REQUIRED: 3 PER 100 LF = 4 TREES
SHADE TREES PROVIDED: 4 TREES

EVERGREEN TREES REQUIRED: 7 PER 100 LF = 9 TREES
EVERGREEN TREES PROVIDED: 9 TREES

EVERGREEN SHRUBS REQUIRED: 10 PER 100 LF = 12 SHRUBS
EVERGREEN SHRUBS PROVIDED: 12 SHRUBS

LARGE SHRUBS REQUIRED: 3 PER 100 LF = 4 SHRUBS
LARGE SHRUBS PROVIDED: 4 SHRUBS

PERIMETER LANDSCAPING ALONG THE PRIVATE DRIVE - 686 LF

SHADE TREES REQUIRED: 1 PER 40 LF = 17 TREES
SHADE TREES PROVIDED: 19 TREES

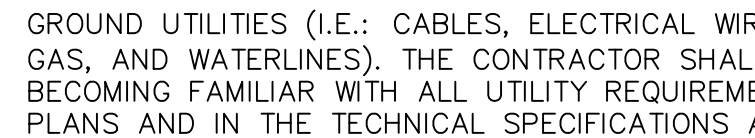
SHRUBS REQUIRED: 1 PER 5 LF = 137 SHRUBS
SHRUBS PROVIDED: 142 SHRUBS

UTILITY NOTE

LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE BASED UPON AN ALTA/NSPS LAND TITLE SURVEY PREPARED BY CROWE - WHEELER AND ASSOCIATES.

UTILITY PROTECTION NOTE

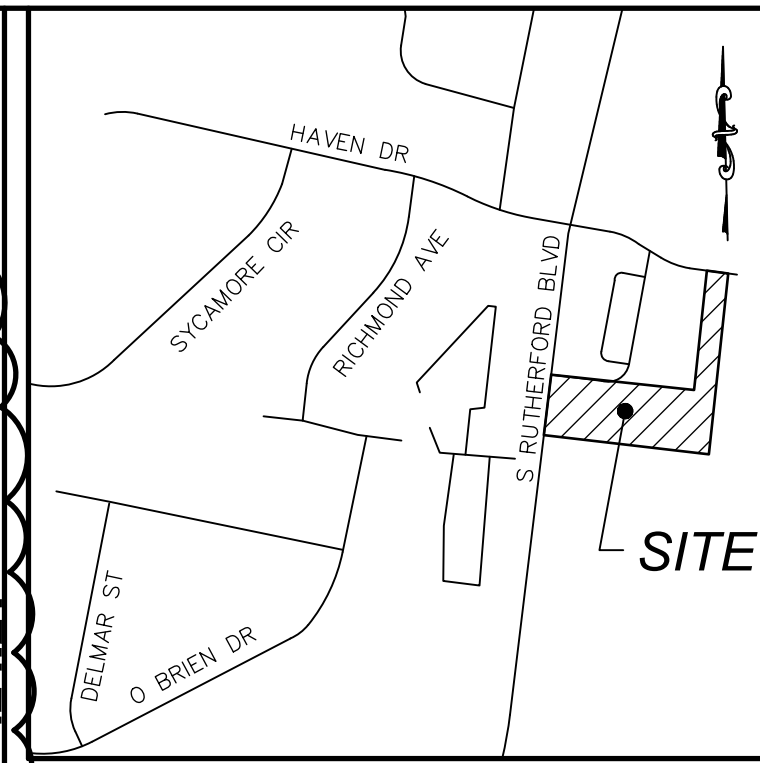
ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER "TENNESSEE 811" (TOLL-FREE PHONE NO. 1-800-351-1111 OR LOCAL 615-367-1110), 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT.



OPEN SPACE:

REQUIRED OPEN SPACE = TOTAL LOT SIZE X 20%
68,825 X 20% = 13,765 SF
PROVIDED OPEN SPACE = 14,465 SF
REQUIRED FORMAL OPEN SPACE = 2,000 SF
PROVIDED FORMAL OPEN SPACE = 2,148 SF

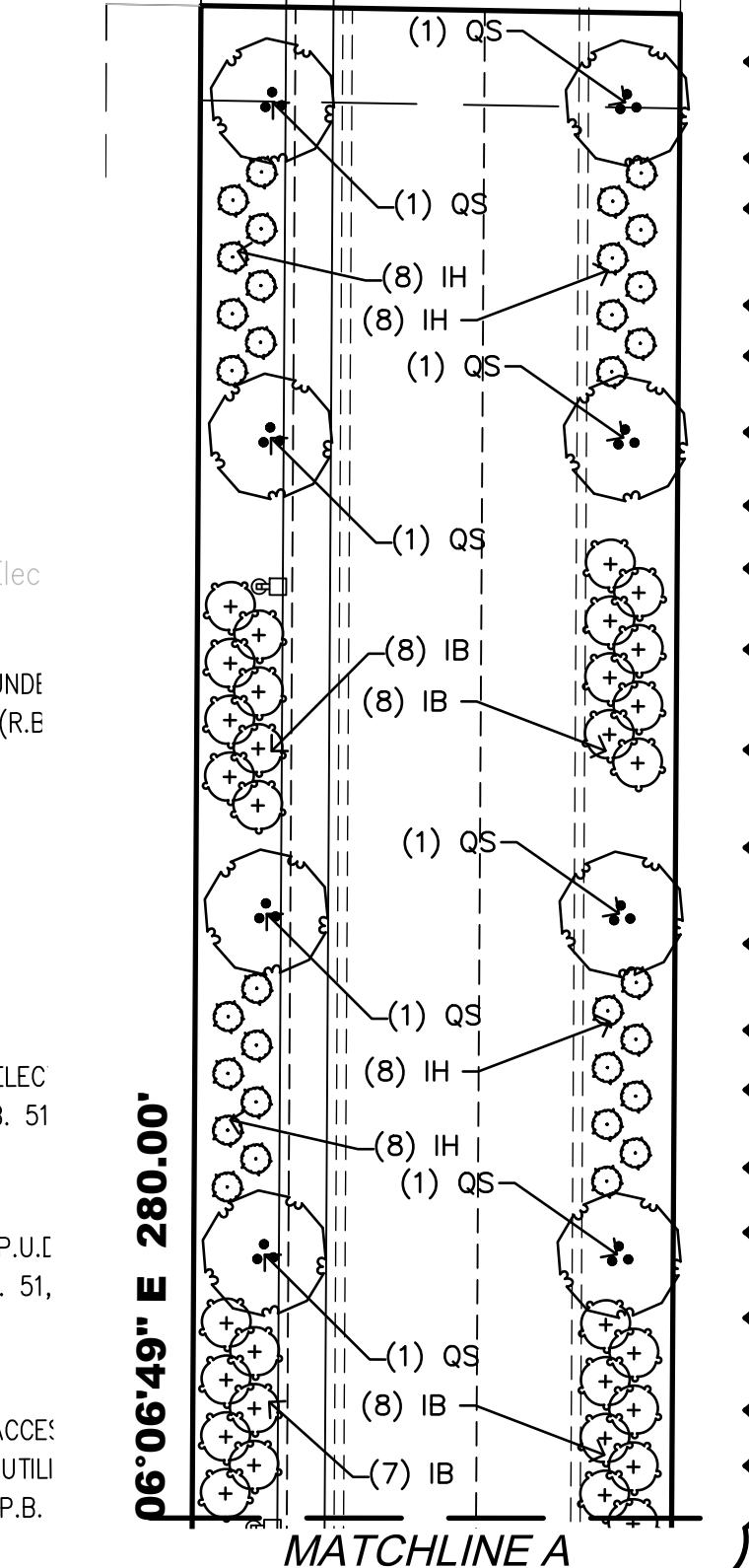
PARK BENCH - 6' PARKVIEW PARK BENCH. SEE DETAIL SHEET C1.5.
TRASH RECEPTACLE - DECORATIVE TRASH RECEPTACLE. SEE DETAIL SHEET C1.5.



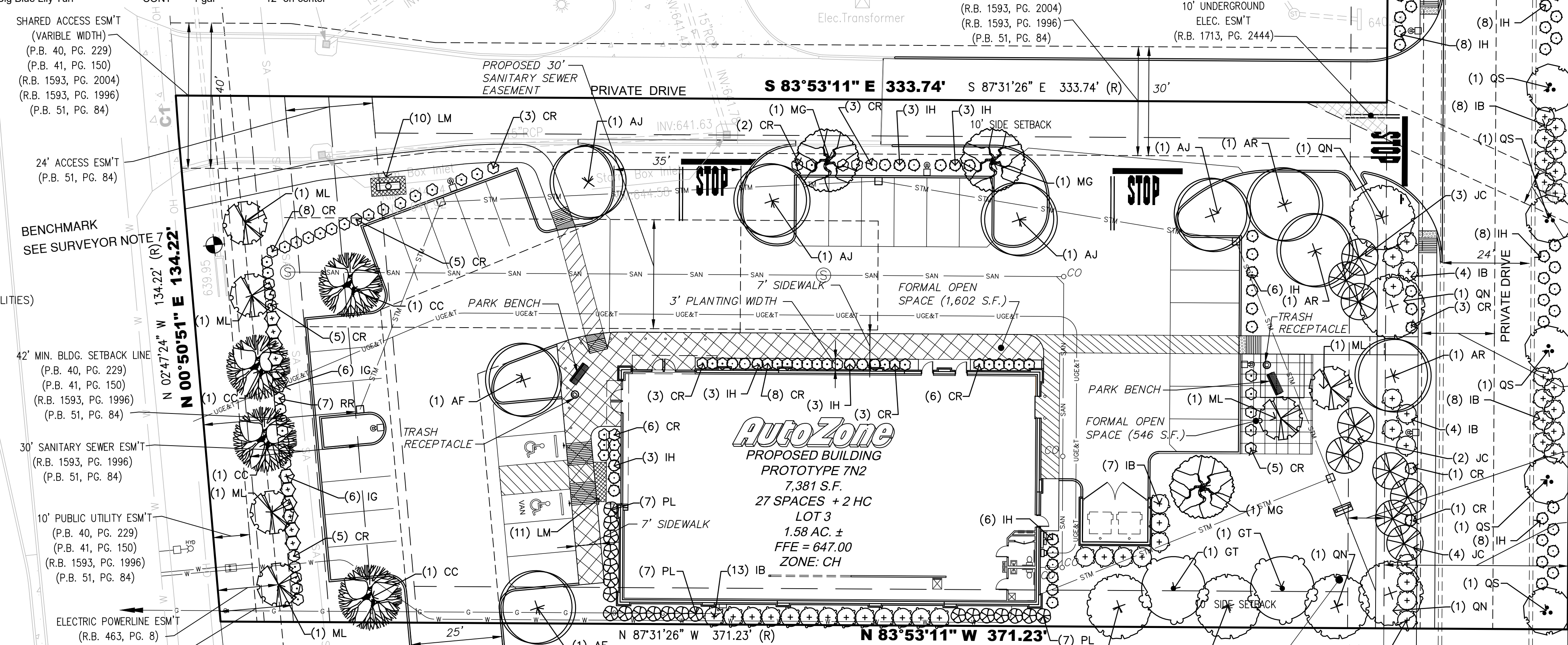
Vicinity Map Not To Scale

HAVEN DRIVE 50.67'

S 83°15'06" E
S 06°06'49" W 424.21'



MATCHLINE A



LOT 4
P.B. 51, Pg. 84
HEARTHWOOD DEVELOPMENT, LLC
R.B. 625, PG. 777
PLAT BK. 51, PG. 84
HEARTHWOOD DEVELOPMENT, LLC
RECORD BK. 625, PG. 777
68,881.4 SQ.FT.
1.58 acres

LEGEND

SEE SHEET C0.1 FOR LEGEND.

FLOOD NOTE (PER SURVEY)

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE(S) X OF THE FLOOD INSURANCE RATE MAP NUMBER 47149C0280J WHICH BEARS AN EFFECTIVE DATE OF 05-09-2023 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

SODDING NOTE

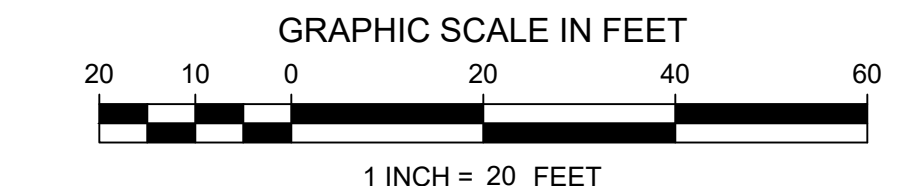
ALL DISTURBED AREAS, INCLUDING DITCHES AND SWALES, AS WELL AS DISTURBED AREAS INSIDE THE RIGHT-OF-WAY AND DRAINAGE EASEMENTS, ARE TO BE FULLY SODDED.

GENERAL NOTES

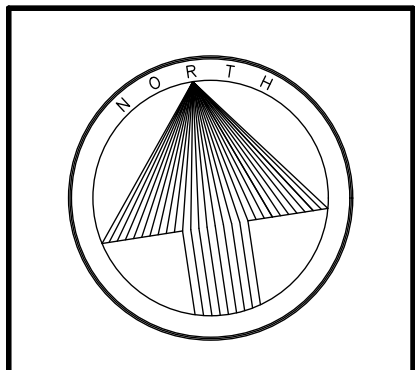
- 1. ALL DISTURBED AREAS NOT COVERED BY OTHER IMPROVEMENTS SHALL BE SODDED.
2. SEE SHEET L1.1 FOR LANDSCAPE NOTES AND DETAILS.

SITE SUMMARY

SITE AREA: 1.58 AC.
EXISTING ZONING: CH (HIGHWAY COMMERCIAL)
PARCEL ID: 103K-E-008.00-000



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REVISIONS table with columns: NO, DATE, DESCRIPTION, BY, CHECKED BY. Shows revisions 1 through 6.

AutoZone Store No. 10568
S RUTHERFORD BLVD
MURFREESBORO TN 37128
LANDSCAPE PLAN

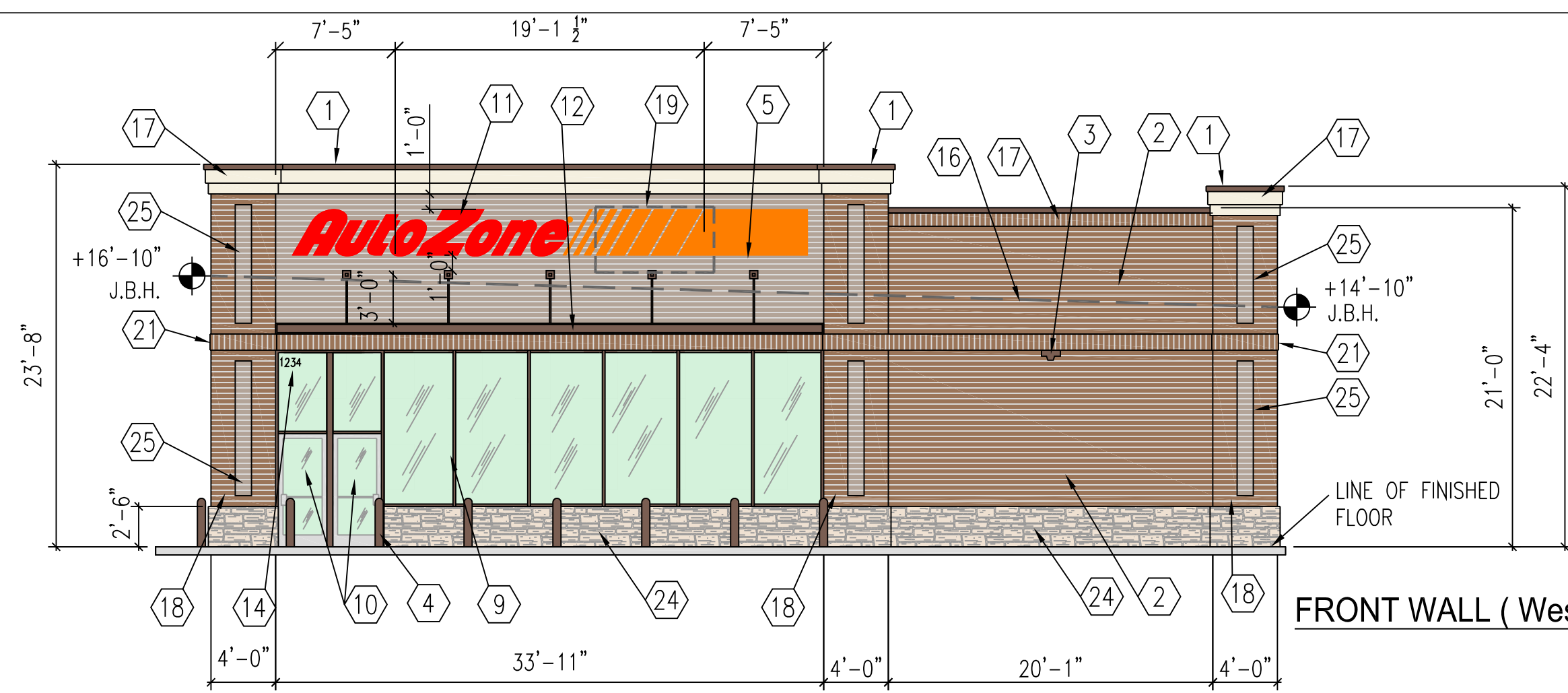
Owner/Developer: AUTOZONE DEVELOPMENT LLC
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
TEL: (901) 495-8701 FAX: (901) 495-8969
For Bidding & Contractor Information Contact:
Dodge Data & Analytics, Tel. 413-930-4215
Cindy.searcy@construction.com

NOT FOR CONSTRUCTION FOR REVIEW ONLY

08/08/25

7N2

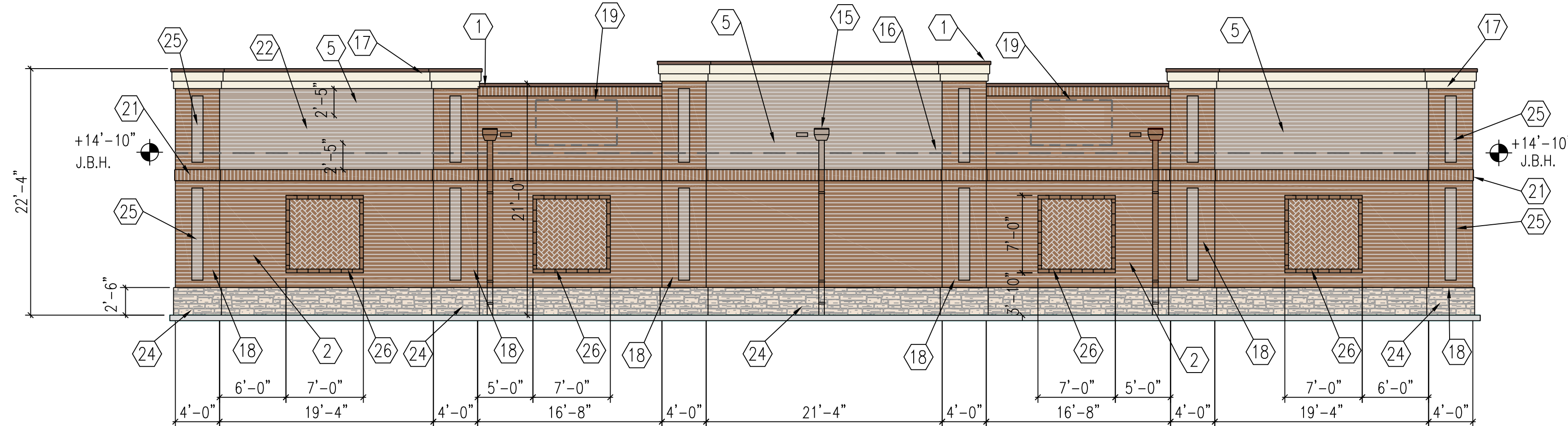
L1.0



WALL AREA: 1409 SQ. FT.
REQUIRED PROJECTION 50% 1409/2= 704 SQ. FT.

TRIM	23 SQ. FT.	2%
EIFS	70 SQ. FT.	5%
PILASTER	226 SQ. FT.	16%
SOLDIER COURSE	70 SQ. FT.	5%
GLAZING	304 SQ. FT.	24%
CULTURED STONE	149 SQ. FT.	10%
TOTAL PROVIDED	882 SQ. FT.	62%

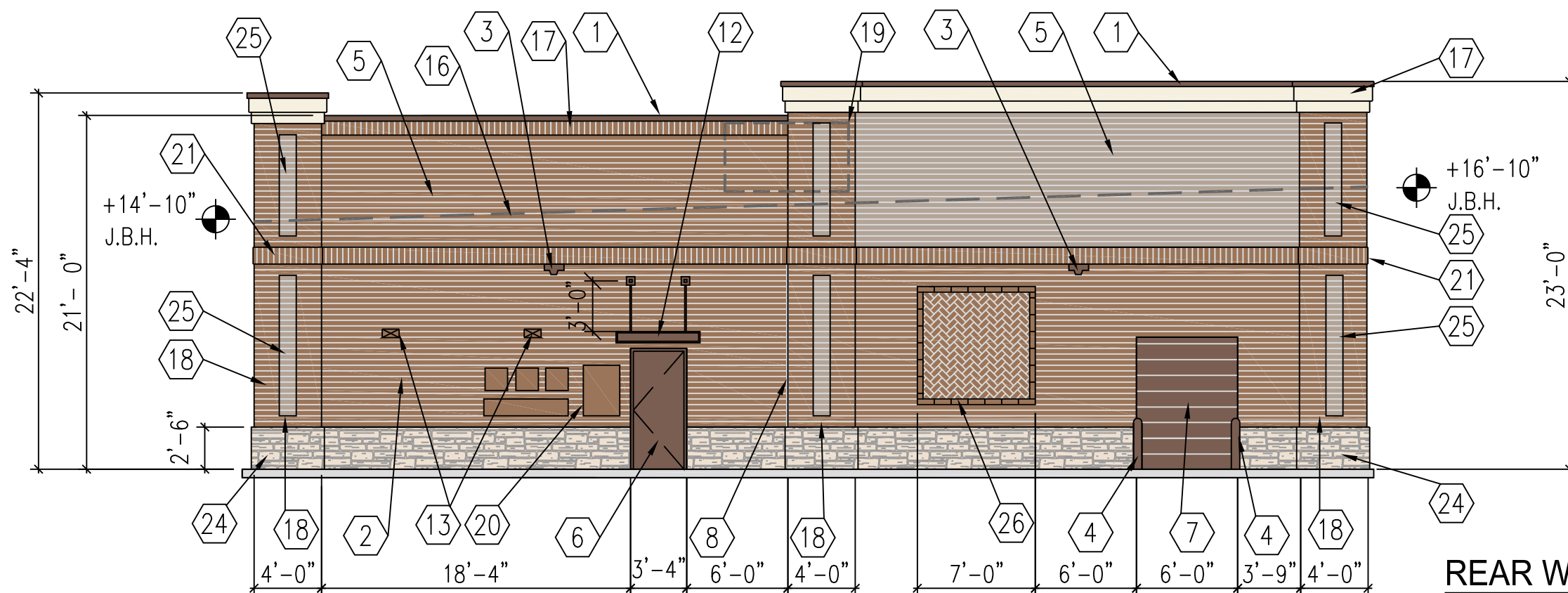
FRONT WALL (West View -facing S. Rutherford Blvd)



WALL AREA: 2430 SQ. FT.
REQUIRED PROJECTION 50% 2430/2= 1215 SQ. FT.

TRIM	37 SQ. FT.	2%
EIFS	128 SQ. FT.	5%
PILASTER	437 SQ. FT.	18%
SOLDIER COURSE	121 SQ. FT.	5%
VOIDS	196 SQ. FT.	8%
CULTURED STONE	293 SQ. FT.	12%
TOTAL PROVIDED	1213 SQ. FT.	50%

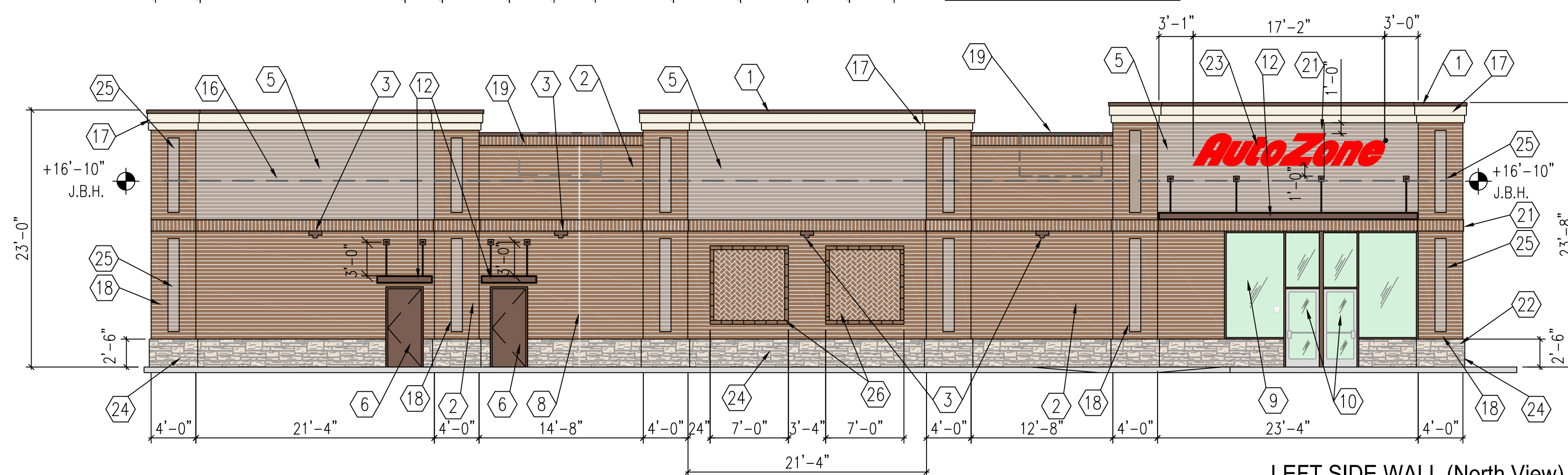
RIGHT SIDE WALL (South View)



WALL AREA: 1380 SQ. FT.
REQUIRED PROJECTION 50% 1380/2= 690 SQ. FT.

TRIM	21 SQ. FT.	2%
EIFS	60 SQ. FT.	4%
PILASTER	221 SQ. FT.	16%
SOLDIER COURSE	77 SQ. FT.	6%
VOIDS	49 SQ. FT.	3%
CULTURED STONE	142 SQ. FT.	10%
TOTAL PROVIDED	570 SQ. FT.	41%

REAR WALL (East View)



WALL AREA: 2493 SQ. FT.
REQUIRED PROJECTION 50% 2493/2= 1246 SQ. FT.

TRIM	37 SQ. FT.	1%
EIFS	137 SQ. FT.	5%
PILASTER	454 SQ. FT.	18%
SOLDIER COURSE	116 SQ. FT.	5%
VOIDS / GLAZING	282 SQ. FT.	11%
CULTURED STONE	260 SQ. FT.	10%
TOTAL PROVIDED	1286 SQ. FT.	51%

LEFT SIDE WALL (North View)

BUILDING MATERIAL CALCULATIONS

MATERIALS	WEST ELEVATION (FRONT)		SOUTH ELEVATION (RIGHT)		EAST ELEVATION (REAR)		NORTH ELEVATION (LEFT)		TOTALS	
	SF	%	SF	%	SF	%	SF	%	SF	%
CULTURED STONE	149	10.5%	293	11%	141	10.3%	260	10%	843	11.3%
PEWTER GREY	317	22.5%	526	21%	255	18.7%	635	25%	1733	23.3%
2.0 GREYSTONE	581	41%	1595	63%	910	66.6%	1377	54%	4463	60%
FOAM CORNICE	70	5%	128	5%	60	4.4%	137	5%	395	5.3%
TOTAL (EXCLUDING GLAZING)	1117	79%	2542	100%	1366	100%	2409	94%	7434	100%

MATERIALS	WEST ELEVATION (FRONT)		SOUTH ELEVATION (RIGHT)		EAST ELEVATION (REAR)		NORTH ELEVATION (LEFT)		TOTALS	
	SF	%	SF	%	SF	%	SF	%	SF	%
GLAZING	304	21%	-	-	-	-	155	6%	459	6%
TOTAL FACADE	1421	100%	2542	100%	1366	100%	2564	100%	7893	100%

- 1 PREFINISHED TWO PIECE COMPRESSION TRIM
COLOR: DURO-LAST "DARK BRONZE"
- 2 BRICK - UTILITY SIZE
COLOR: PALMETTO BRICK "2.0 GREYSTONE"
- 3 WALL MOUNTED LIGHT FIXTURE - DARK BRONZE FINISH
- 4 PIPE GUARD WITH ARCHITECTURAL BROWN SLEEVE
- 5 BRICK - UTILITY SIZE
COLOR: PALMETTO BRICK "PEWTER GRAY"
- 6 PAINT MAN DOOR & METAL FRAMES DARK BRONZE
- 7 DO NOT PAINT OVERHEAD DOOR
PAINT ANGLES DARK BRONZE
- 8 EXPANSION JOINT
- 9 ALUMINUM STOREFRONT SYSTEM -DARK BRONZE FINISH
TINTED GLASS WINDOWS
- 10 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 11 FRONT WALL SIGN - 34" RED CHANNEL LETTERS
- 12 3'-0" DEPTH METAL FLAT AWNING
COLOR: DARK BRONZE
- 13 TOILET WALL VENTS PAINT TO MATCH WALL
- 14 STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS
SCUPPERS AND DOWNSPOUTS. PAINTED TO MATCH BACKGROUND
WALL COLOR. ADJACENT 4" H. X 6" W. OVERFLOW SCUPPER.
FLOWLINE 2" ABOVE ROOF.
- 15 BOND BEAM AT ROOF LINE
- 16 EIFS CORNICE - "SW6091 RELIABLE WHITE"
- 17 BRICK PILASTER (8" PROJECTION)
- 18 HVAC UNITS SCREENED BEHIND PARAPET WALL
- 19 ELECTRICAL PANELS
- 20 BRICK - UTILITY SIZE SOLDIER COURSE
COLOR: PALMETTO BRICK "2.0 GREYSTONE"
- 21 RIGHT WALL SIGN - 30" RED CHANNEL LETTERS
- 22 LEFT WALL SIGN - 34" HIGH RED CHANNEL LETTERS
- 23 CULTURED STONE - COUNTRY LEDGESTONE W/ SILL
CAP - COLOR: ECHO RIDGE
- 24 BRICK - UTILITY SIZE STACKED BOND
COLOR: PALMETTO BRICK "PEWTER GREY"
- 25 STACKED UTILITY SIZE BRICK PICTURE FRAME (1" PROJECTION)
WITH UTILITY SIZE BRICK HERRINGBONE PATTERN
COLOR: US BRICK - "KONA VELOUR"
- 26

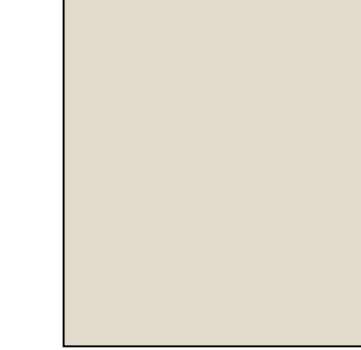
BRICKS



PALMETTO BRICKS - 2.0 GREYSTONE



PALMETTO BRICKS - PEWTER GREY



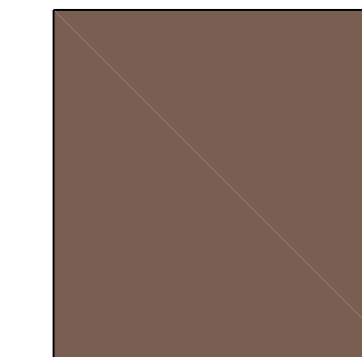
SW 6091 RELIABLE WHITE

STONE



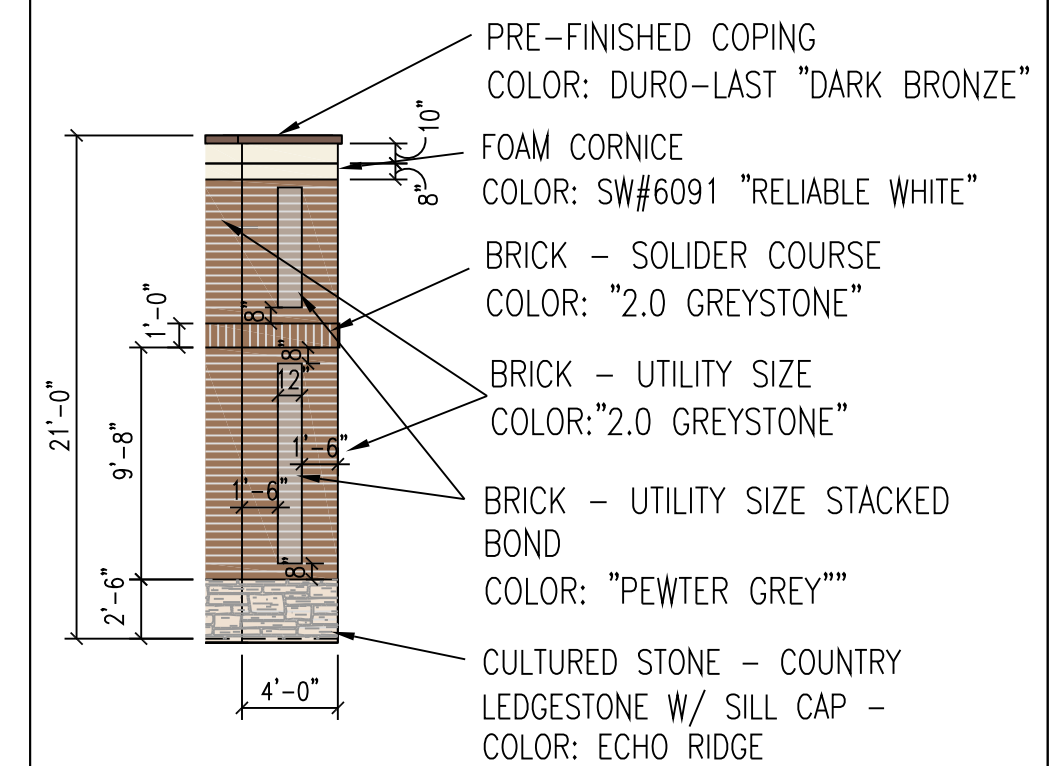
CULTURED STONE - COUNTRY LEDGESTONE-ECHO RIDGE

METAL AWNING



BRONZE

2 ELEVATION KEYNOTES



FIELD BRICK - UTILITY SIZE
COLOR: PALMETTO BRICK "2.0 GREYSTONE"
SOLDIER COURSE BRICK - UTILITY SIZE
COLOR: PALMETTO BRICK "2.0 GREYSTONE"
STACKED BOND BRICK - UTILITY SIZE
COLOR: PALMETTO BRICK "PEWTER GREY"
FIELD BRICK - UTILITY SIZE
COLOR: PALMETTO BRICK "PEWTER GREY"

BRICK MORTAR COLOR: BEIGE

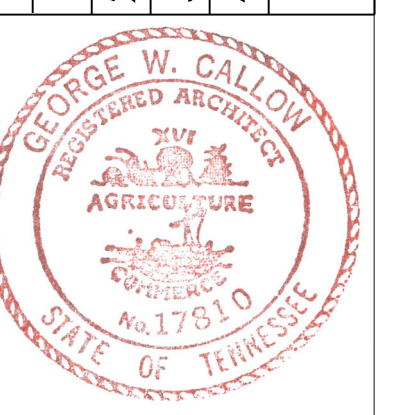
SCALE: 1/8" = 1'-0"

AUTOZONE INC.

Architect: GEORGE CALLOW
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
TEL: (901) 495-8705 FAX: (901) 495-8969
Email Address: george.callow@autozone.com

Prepared **AutoZone** STORE DEVELOPMENT
Store No. 10568
For: 2612 SOUTH RUTHERFORD BOULEVARD
MURFREESBORO, TN 37130

REVISIONS
1. 09/20/25-ADDED MATERIAL CUMULATIVE
2. 11/04/25-ADDED BLDG MATERIAL CAL.
3.
4.



DATE
06/19/25
PROTOTYPE SIZE
7N2R

SCALE: 1/8" = 1'-0"
CE

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS – NOVEMBER 19, 2025
PROJECT PLANNER: HOLLY SMYTH**

5.b. Manny’s Towing [2025-3121] site plan for 1,364 ft² building for a wrecker service with storage yard on 1.41 acres zoned H-I located along Elam Farms Parkway, Manuel R. Cervera developer.

This is the site plan review for an towing with some onsite storage area for vehicles along the east side of Elam Farms Parkway south of Joe B Jackson Parkway. This use is an allowed use in the HI zone district so long as any storage area is surrounded by an 8’ masonry wall and 10’ Type B landscape buffer around the storage yard. The masonry wall and Type B landscaping have been incorporated into the project site.

The particular site has two access easements flanking the northerly and southerly boundary lines of the site that already contain driveway accesses back towards the east to allow uses along Joe B. Jackson access to a signalized intersection at Elam Farms Parkway and Joe B. Jackson Parkway. These existing constructed access easements shall remain, but the recorded private access easement that ties the two easement together will not need to be remain and will be abandoned by the property owner. This area will then be used for a trash enclosure adjacent to the proposed storage yard.

The site’s parking area is located to the north of the access easement away from the building and the front of the office faces Elam Farms parkway. Because this interior private drive is a public accessway, the northerly wall has incorporated window to avoid a blank wall. **The proposed project is generally consistent with City standards and is recommended for approval subject to all staff comments.**

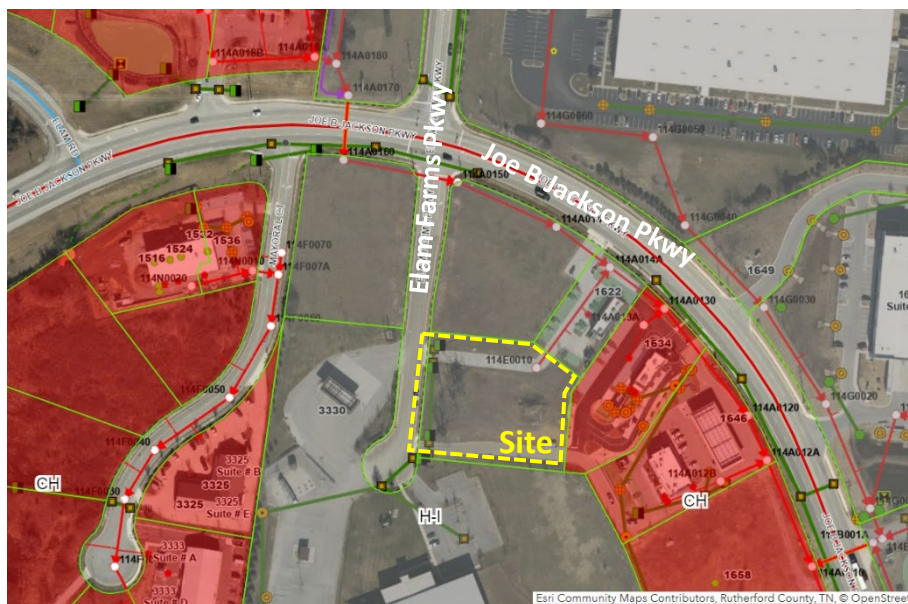


EXHIBIT A – STAFF COMMENTS

These remaining comments require changes to the site plan and or architecture of proposed structure(s). Please reach out to the reviewer listed for questions regarding the comments.

Development Services – Planning-

Holly Smyth, 615-893-6441, hsmyth@murfreesborotn.gov

1. *Please be advised that plans approved after July 1, 2023 are subject to the City's Impact Fee Ordinance. If further information is needed, please contact the Planning Department.*
2. With resubmittal provide staff comment response letter with revisions noted and clouded on the plan.
3. Provide a revision data block on all pages (including elevation page) with a brief description and date of all revisions.
4. Landscaping Plan page: Provide details of the 8' masonry wall and gate, *does not appear to be shown.*

Development Services – Engineering

Lee Holliman, 615.893.6441, lholliman@murfreesborotn.gov

1. No comments, see below.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. Shift the frontage landscaping to the interior of the property and outside of the 10ft PUE along Elam Farms Parkway.
2. Golden Raintree are not readily available in the market. Please select another tree in its place.
3. Provide a landscape irrigation system design prior to the issuance of permits.
4. Remove the base of building planting area and plantings located behind the masonry wall inside the storage area.

Building and Codes Department

Trey Hugh, 615.893.3750, whugh@murfreesborotn.gov

1. No comments.

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

1. No Comments (see below)

Consolidated Utility District

Will Steele, 615.225.3311, [wsteele@cudrc.com](mailto:wsteele@ cudrc.com)

1. CUD/MTE/MWRD review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until CUD/MTE/MWRD has issued its formal approval. The plans shall comply with all applicable CUD/MTE/MWRD standards.

Middle Tennessee Electric

Ben Martin, 615.494.1621, benmartin@mte.com

2. CUD/MTE/MWRD review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until CUD/MTE/MWRD has issued its formal approval. The plans shall comply with all applicable CUD/MTE/MWRD standards.

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1. No comments.

Murfreesboro Water Resources Department

Anita Heck, 615.890.0862, aheck@murfreesborotn.gov

1. CUD/MTE/MWRD review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until CUD/MTE/MWRD has issued its formal approval. The plans shall comply with all applicable CUD/MTE/MWRD standards.

EXHIBIT B - INFORMATIONAL & PROCEDURAL COMMENTS

These comments contain information and action items that must be completed before a Certificate of Occupancy can be released by the Planning Department.

Development Services – Planning

Holly Smyth, 615.893.6441, hsmyth@murfreesborotn.gov

- 1) **Private abandonment:** Provide draft map, legal description, and recordation document to abandon the cross-hatched 25' joint access easement for City review prior to certificate of occupancy and before recordation.
- 2) Per the engineer's certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (5/9/2023) for the City of Murfreesboro, Panel 47149C0290J.
- 3) The project frontages is located along Elam Farms Parkway on the south side of Joe B Jackson Parkway (designated as a "Major Arterial" roadway. Elam Farms Parkway, further to the north is on the City's 2040 MTP (Major Transportation Plan) as a

recommended 3-lane roadway improvement project that will provide access to Manchester Pike in the future.

- 4) Designate an area on the plans for construction debris storage. Unkept sites shall not be permitted and may be subject to stop-work orders.
- 5) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Lee Holliman, 615.893.6441, lholliman@murfreesborotn.gov

1. A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Engineering Department and must be approved by the city engineer.
2. Prior to a land disturbance permit, provide a stormwater pollution prevention plan (SWPPP) to be reviewed and approved by the City Engineer prior to any permit. Include provisions for erosion and sediment control with details in general compliance with the TDEC Erosion and Sediment Control Handbook Fourth Edition.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No comments

Building and Codes Department

Trey Hugh, 615.893.3750, whugh@murfreesborotn.gov

1. See above.

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

1. The Planning Commission does not approve signage. Any signage that is shown on exterior building elevations, renderings, or site plans are not approved when those plans are reviewed as a function of the site plan and plat review processes.
2. Sign permits and reviews are a separate approval process, please reach out to Sign Administrator, Teresa Stevens at tstevens@murfreesborotn.gov for additional information.
3. Sign reviews can include temporary signs, attached signs, and ground signs. Strip lighting that is placed under an eave and outline lighting placed on the exterior of a building or canopy may be considered signs and require a separate review as well.
4. For proposed flagpole(s), the flagpole(s) shall be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the

foundation design. The setback requirements for the flagpole(s) are established in the Sign Ordinance.

Consolidated Utility District

Will Steele, 615.225.3311, wsteele@ cudrc.com

1. See above

Middle Tennessee Electric

Ben Martin, 615.494.1621, benmartin@mte.com

1. See above

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1. See above

Murfreesboro Water Resources Department

Anita Heck, 615.890.0862, aheck@murfreesborotn.gov

1. See above

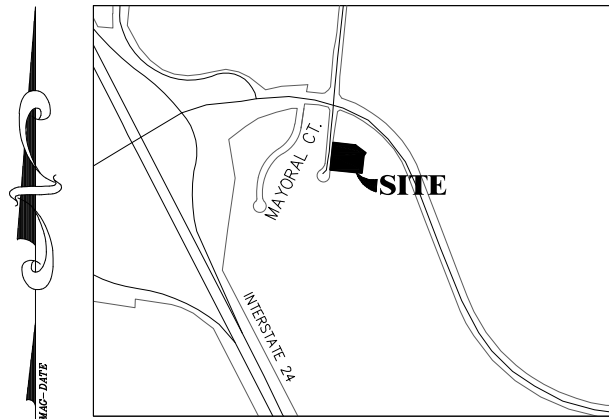
MANNY'S TOWING

LOT 9 OF ELAM ROAD PARTNERSHIP SUBDIVISION

18th Civil District of Rutherford County, Tennessee

SHEET INDEX

SHEET	SHEET
0	COVER SHEET
1	EXISTING CONDITIONS
2	CONSTRUCTION FACILITIES PLAN
3	SITE PLAN
4	GRADING & DRAINAGE PLAN
4A	POND PLAN
5	UTILITY PLAN
6	OPEN SPACE PLAN
6A	LANDSCAPING PLAN
6B	IRRIGATION PLAN
7	LIGHTING PLAN
7A	PHOTOMETRIC PLAN
8	TRUCK TURNING TEMPLATE
9	DETAILS SHEET
E1	E.P.S.C. (INITIAL MEASURES)
E2	E.P.S.C. (INTERMEDIATE MEASURES)
E3	E.P.S.C. (FINAL MEASURES)
A0.01	ARCHITECTURAL RENDERS



LOCATION MAP
N.T.S.

SITE DATA	
TOTAL ACREAGE:	1.41 ACRES±, 61,383 S.F.±
TOTAL DISTURBED AREA:	0.61 ACRES±, 26,612 S.F.±
ZONED:	H-1
BUILDING:	1-STORY BUILDING
BUILDING HEIGHT:	25' EAVE HEIGHT
TOTAL FLOOR AREA:	1,364 S.F.
LAND USE:	
PARKING SPACES REQUIRED:	1.5 PARKING SPACES PER 2 EMPLOYEES EMPLOYED ON THE LARGEST SHIFT PLUS 1 FOR EACH BUSINESS VEHICLE.
	1.5 SPACES/2 EMPLOYEES X 4 EMPLOYEES = 3 SPACES
	1 SPACE/BUSINESS VEHICLE X 4 BUSINESS VEHICLE = 4 SPACES
	TOTAL REQUIRED = 7 SPACES
PARKING SPACES PROVIDED:	10 PARKING SPACES PLUS 1 H.C. SPACE
OPEN SPACE (NOT INCLUDING FORMAL OPEN SPACE)	
TOTAL SITE AREA:	1.41±ACRES
OPEN SPACE REQUIRED 20%:	1.41*0.20= .28 ACRES
	= 12,277 SQ FT
OPEN SPACE PROVIDED:	20,672 SQ FT (34%)

FOR
REVIEW ONLY

HS HUDDLESTON-STEELE
ENGINEERING, INC.

2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE : 893 - 4084, FAX: 893 - 0080

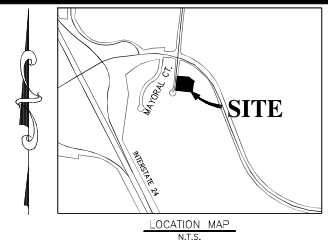
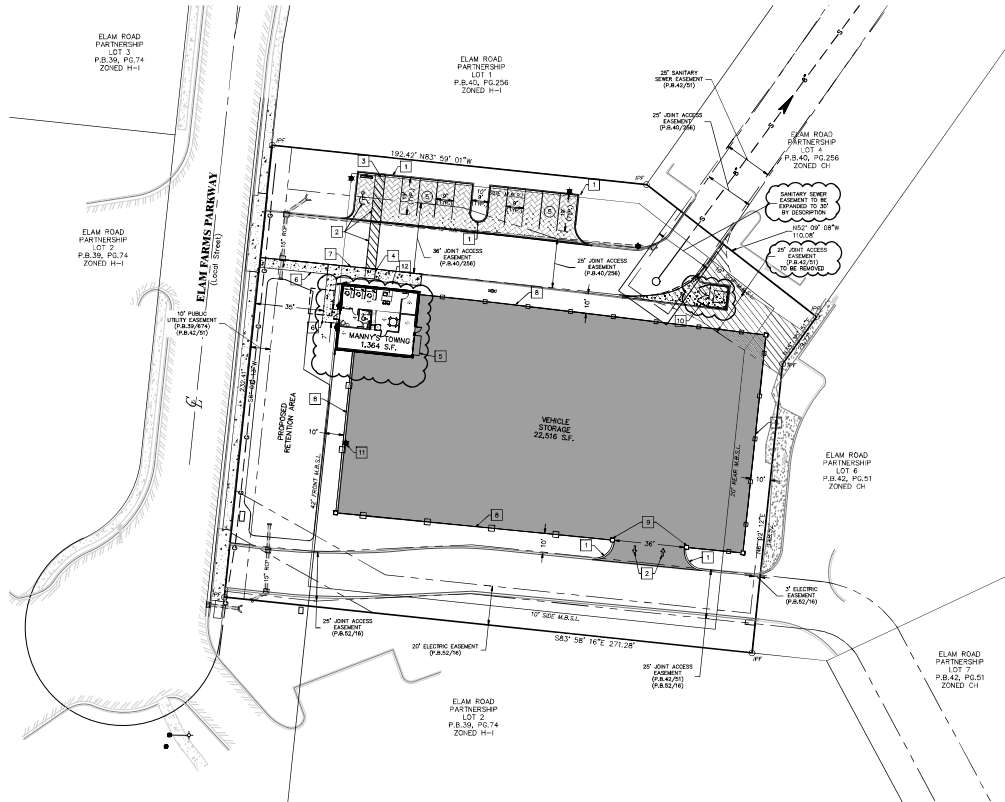
OWNER: MANUEL & STACY R. CERVERA
ADDRESS: 3006 FAIRFIELD PIKE
BELL BUCKLE, TN 37020
PROPERTY ADDRESS: ELAM FARMS PKWY
MURFREESBORO, TN 37127
TAX MAP: 126 PARCEL: 50.00
RECORD BOOK: 2563, PAGE: 2452

STANDARD CITY OF MURFREESBORO NOTES:

- In accordance with TCA Section 7-59-310(a)(1), Competitive Cable and Video Services Act, in cases of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video service the City of Murfreesboro sides on which open trenching will be available for the providers' installation of conduits, pedestals or vaults, and laterals, referred to as "equipment," to be provided at each such provider's expense.
- All signs, including flags and flagpoles, is subject to independent review by the Building and Codes Department. All signage must conform to their requirements and require separate sign permits.
- A Land Disturbance Permit may be required. Determination whether a Land Disturbance Permit is required shall be made by the City Engineer. A separate Land Disturbance Permit application shall be made with the office of the City Engineer for review and sign approval for issuance of a Land Disturbance Permit.
- For all developments of more than one acre, a State of Tennessee Construction Safety Plan is required. Elements of this permit must be provided to the office of the City Engineer prior to construction commencement.
- Contractor to coordinate with the Traffic Engineer in the City Transportation Department prior to commencement of work in this area to avoid damage to traffic signal devices.
- A Stormwater Management Plan demonstrating that the site provides for treatment of the water quality volume and provides for management of the stormwater protection volume must be provided.
- An Engineers Certification of the construction of the stormwater management facilities must be provided to the City Engineer prior to issuance of a building permit.
- A Stormwater Fee Credit Application must be submitted prior to the issuance of a building permit.
- A Stormwater Facilities Operation and Maintenance Plan and a Stormwater Facilities Maintenance Agreement must be submitted prior to issuance of a building permit.
- The Stormwater Facilities Maintenance Agreement must be recorded prior to certificate of occupancy.

LEGEND

- ⊕ Power Pole
- ⊕ Existing Fire Hydrant
- ⊕ Gate Valve & Box
- ⊕ Light Pole
- ⊕ Existing Water Meter
- Existing Water Line
- Existing Sanitary Sewer Line
- ⊕ Existing Manhole
- Existing Overhead Electrical Line
- Existing Underground Electrical Line
- Existing Underground Telephone Line
- Existing Underground Cable Line
- Corrugated Metal Pipe
- Reinforced Concrete Pipe
- Existing Gas Line
- Existing Contours
- ⊕ Existing Spot Elevations



SITE DATA

TOTAL ACREAGE: 1.41 ACRES±, 61,383 S.F.±
 TOTAL DISTURBED AREA: 0.61 ACRES±, 26,612 S.F.±

ZONED: H-1
 1-STORY BUILDING
 BUILDING HEIGHT: 25' EAVE HEIGHT
 TOTAL FLOOR AREA: 1,364 S.F.

LAND USE:

PARKING SPACES REQUIRED: 1.5 PARKING SPACES PER 2 EMPLOYEES EMPLOYED ON THE LARGEST SHIFT PLUS 1 FOR EACH BUSINESS VEHICLE.
 1.5 SPACES/2 EMPLOYEES X 4 EMPLOYEES = 3 SPACES
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 TOTAL REQUIRED = 7 SPACES

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OPEN SPACE (NOT INCLUDING FORMAL OPEN SPACE)
 TOTAL SITE AREA: 1.41 ACRES
 OPEN SPACE REQUIRED 20%: 1.41 x 0.20 = 28 ACRES
 OPEN SPACE PROVIDED: 20,672 SQ FT (34%)

CONSTRUCTION LEGEND

- ▢ Proposed Concrete Curb
- ▢ Proposed Striping
- ▢ Proposed HC Sign
- ▢ Proposed HC Landscaping with yellow truncated domes
- ▢ Proposed Driveway Ramp
- ▢ Proposed 5' Sidewalk
- ▢ Proposed 6' Sidewalk
- ▢ Proposed 8' Tall Masonry Wall
- ▢ Proposed Gate
- ▢ Proposed Dumpster and Dumpster Pad
- ▢ Proposed Light Pole
- ▢ 3' Landscape Strip

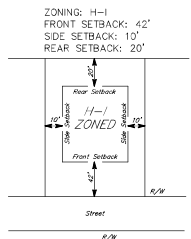
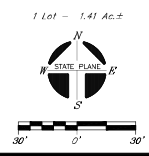
Proposed Asphalt Pavement
 Proposed Concrete
 Proposed Porous Pavement

DETAILS PROVIDED ON SHEET 9.

#	DATE	REVISIONS
1	09/12/25	REVISED BUFFERS AROUND VEHICLE STORAGE TO BE 10'
2	10/02/25	REVISED LAYOUT PER OWNER COMMENTS (TYP.)
3	10/14/25	ADDED PROPOSED FOND (TYP.)
4	11/26/25	ADDED CITY COMMENTS (TYP.)
5	11/12/25	REVISED BUILDING ARCHITECTURAL LAYOUT (TYP.)

THE SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-0-07.

OWNER: MANUEL & STACY R. CERVERA
 ADDRESS: 3308 FAIRFIELD PIKE BELL BUCKLE, TN 37020
 PROPERTY ADDRESS: ELAM FARMS PKWY MURFREESBORO, TN 37127
 TAX MAP: 126 PARCEL: 50.00
 RECORD BOOK: 2563, PAGE: 2452
 THIS PROPERTY IS NOT INCLUDED IN AREAS DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM.
 FLOOD MAP NUMBER: 47149C0290J
 FLOOD MAP DATE: MAY 9, 2003 ZONE: X
 NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY RECORDATION THAT A COMPLETE TITLE SEARCH MAY REVEAL.



LEGEND FOR MONUMENTS
 IPF ⊕ 20'x10'x10' SET
 (1/2"⊕ Rear with HSENGER cap)
 IPF ⊕ 20'x10'x10' SET
 ⊕ BALDWIN DRIVE
 ⊕ SURVEY POINT
 ⊕ NAIL
 ⊕ CONC. MARKER FIND.

FOR REVIEW ONLY

MANNY'S TOWING
 LOT 9 OF
 ELAM ROAD PARTNERSHIP
 SUBDIVISION

18th Civil District of Rutherford County, Tennessee

DATE: August, 2025 Scale: 1"=30' SH. 3 of 9

STANDARD CITY OF MURFREESBORO NOTES:

- In accordance with TCA Section 7-59-310(a)(3), Competitive Cable and Video Services Act, in cases of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video service the City of Murfreesboro sites on which open trenches will be available for the providers' installation of conduits, pedestals or vaults, and laterals, referred to as "embedments," to be provided at each such providers' expense.
- All surveys, including final and final notes, is subject to independent review by the Building and Codes Department. All projects must conform to these requirements and require separate sign permits.
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LEGEND

- Power Pole
- Existing Fire Hydrant
- Gate Valve & Box
- Light Pole
- Existing Water Meter
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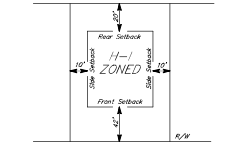
LANDSCAPE CALCULATIONS:

Length	Trees Required	Trees Provided
Front Yard	37	1
Side Yard "A"	184	5
Side Yard "B"	188	5
Side Yard "C"	84	2
Side Yard "D"	172	4
Side Yard "E"	263	7
Rear Yard "1"	114	3
Rear Yard "2"	122	3
Required Trees	29	43
10E - 4"	3	5
15E - 3"	4	13

QTY	SYM.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	NOTES
CANOPY TREES						
5	SM	Sugar Maple	Acer saccharum	4" Cal.	B&B	SR Clear Trunk, Single, Straight Central Leader, and Full Canopy
13	LE	Loose Bark Elm	Ulmus parvifolia	3" Cal.	B&B	SR Clear Trunk, Full Canopy
11	RC	Red Horse Chestnut	Aesculus x carnea	2.5" Cal.	B&B	SR Clear Trunk, Full Canopy
PERENNIAL TREES						
5	RB	Redbud	Cercis canadensis	1.5" Cal.	B&B	SR Clear Trunk, Evenly Branched, Full Symmetrical Crown, Street Tree Quality, Midsize
9	SM	Sourwood	Diospyros speciosa	2" Cal.	B&B	SR Clear Trunk, Full Canopy
EVERGREEN TREES						
42	EP	Eastern Redcedar	Juniperus virginiana	6" Ht.	B&B	Evergreen Tree
7	Am	American Holly	Ilex opaca	6" Ht.	B&B	Evergreen Tree
SHRUBS						
3	OP	Crimson Pygmy Barbary	Berberis thunbergii 'Crimson Pygmy'	24" Ht.	Cont.	Deciduous shrub
6	BS	Burns Spirea	Spiraea x bumalda	24" Ht.	Cont.	Deciduous shrub
2	BP	Chinese Juniper 'Blue Point'	Juniperus chinensis	36" Ht.	Cont.	Coniferous evergreen shrub
14	LB	Littledale Bleeding Heart	Rhus typhina	24" Ht.	Cont.	Deciduous shrub
38	CL	Fragrant Sumac 'Iris Low'	Rhus aromatica	18" Ht.	Cont.	Deciduous shrub
GRASSES						
38	FF	Farm Flower	Taraxacum officinale			

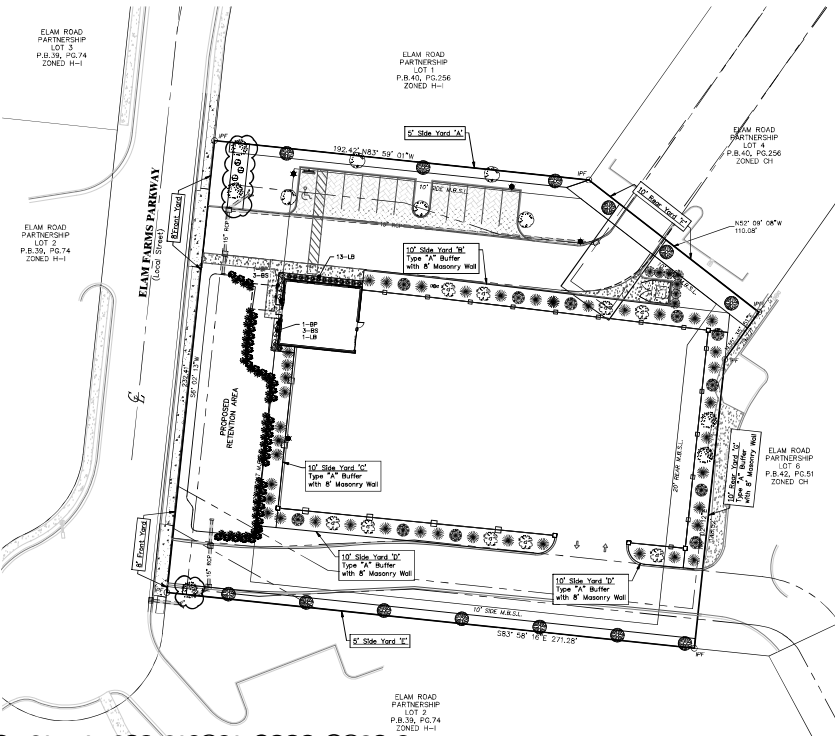
NOTE: See Sheet 9 for 8" Masonry Wall Detail

ZONING: H-1
FRONT SETBACK: 42'
SIDE SETBACK: 10'
REAR SETBACK: 20'



LEGEND FOR MONUMENTS
 ○ 1/2" IRON PIN WITH INSURER CAP
 ○ 1/2" IRON PIN NAIL
 ○ BULKHEAD DRIVE
 ○ SURVEY POINT
 ○ MARK
 ○ CONC. MARKER PIN

TYPICAL BUILDING SETBACK DETAIL
N.T.S.

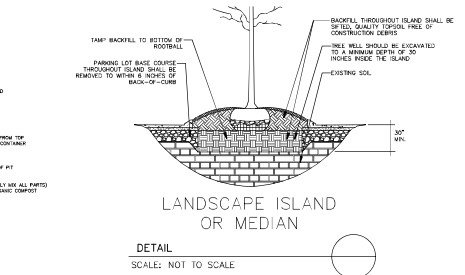
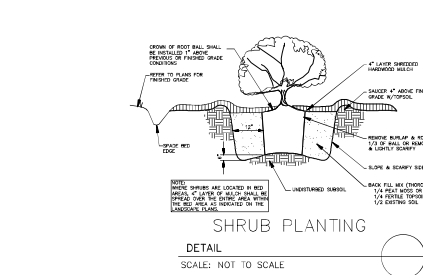
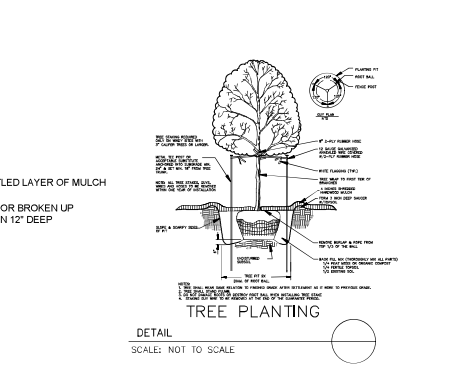
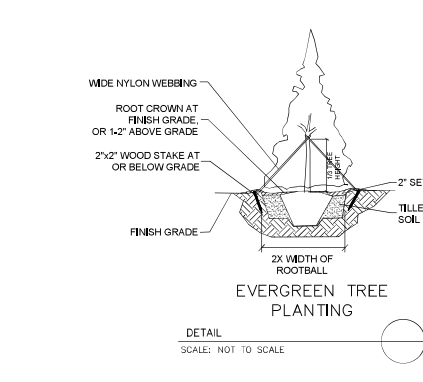


PLANTING NOTES

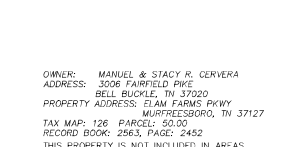
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT EACH EXCAVATED TREE OR UNDERLIE WILL REMOVED (CROWN TO REMAIN, BRANCHES AND SELECTED BRANCHES WITH 20" INCHES OF WATER. THIS WATER SHOULD PERMEATE OUT WITHIN 24 HOURS OF THE JOB. AT A GIVEN AREA LOCATED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND SHRUBS.
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GENERAL NOTES

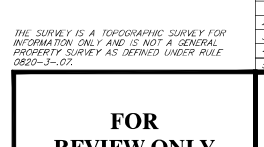
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ZONING: H-1
FRONT SETBACK: 42'
SIDE SETBACK: 10'
REAR SETBACK: 20'



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FRONT SETBACK: 42'
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LEGEND FOR MONUMENTS
 ○ 1/2" IRON PIN WITH INSURER CAP
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 ○ BULKHEAD DRIVE
 ○ SURVEY POINT
 ○ MARK
 ○ CONC. MARKER PIN

TYPICAL BUILDING SETBACK DETAIL
N.T.S.

THE SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-1-07.

FOR REVIEW ONLY

J.S. HUDDLESTON-STEELE
 ENGINEER

2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: 800-428-4444 FAX: 931-308-0088

#	DATE	REVISIONS
1	09/12/25	REVISED BUFFERS AROUND VEHICLE STORAGE TO BE 10'
2	10/02/25	REVISED LAYOUT AND BUFFERS
3	11/05/25	ADDRESSED CITY COMMENTS (TRF.)
4		
5		

LANDSCAPING PLAN

MANNY'S TOWING
 LOT 9 OF
 ELAM ROAD PARTNERSHIP
 SUBDIVISION

18th Civil District of Rutherford County, Tennessee

DATE: August, 2025 Scale: 1"=30' SH. 6A of 9

PRELIMINARY
NOT FOR
CONSTRUCTION

W. Michael Stewart
Architect
540 Grove Isle Cir. 103
Vero Beach, Florida 32962

MANNY'S
TOWING & RECOVERY
MURFREESBORO, TN.

11/12/2025

A0.01

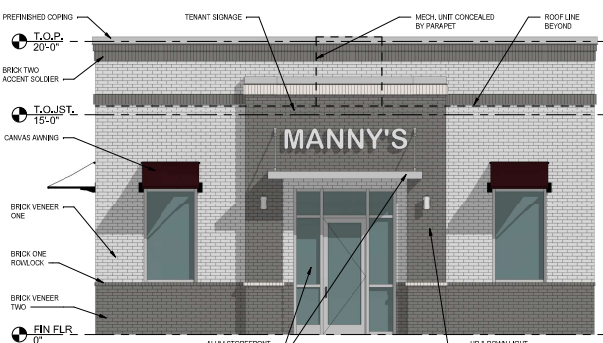


6 PERSPECTIVE VIEW
SCALE:

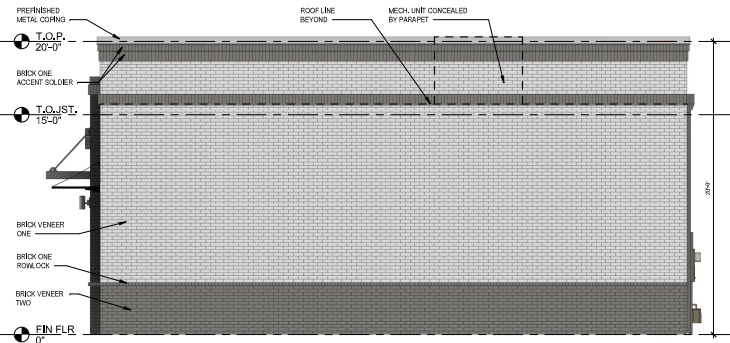
MATERIAL LEGEND

CLEAR ANODIZED ACCENT & STORE FRONT
LIGHT GRAY 10% TINTED GLASS
BRICK VENEER TWO SILVER CITY WIRECUT
BRICK VENEER ONE GRAY WIRE CUT
BURGANDY CANVAS CANOPY
ALUMINUM CANOPY

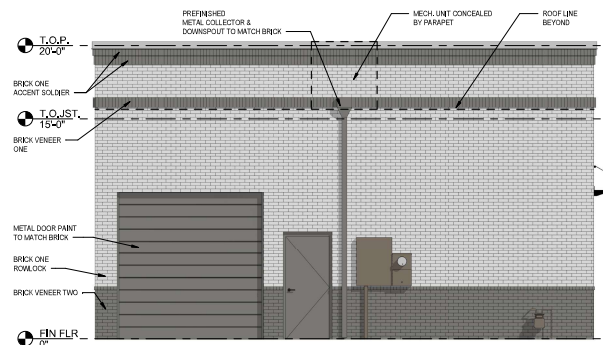
TOTAL FACADE MATERIAL SURFACE AREA:		
BRICK VENEER ONE	819.75 S.F.	27%
BRICK VENEER TWO	1,077.28 S.F.	50%
METAL CORNICE & ACCENT	72.78 S.F.	8%
STOREFRONT GLASS	307.54 S.F.	11%
METAL DOORS	102.25 S.F.	4%
TOTAL MASS AREA	3,002.26 S.F.	100%



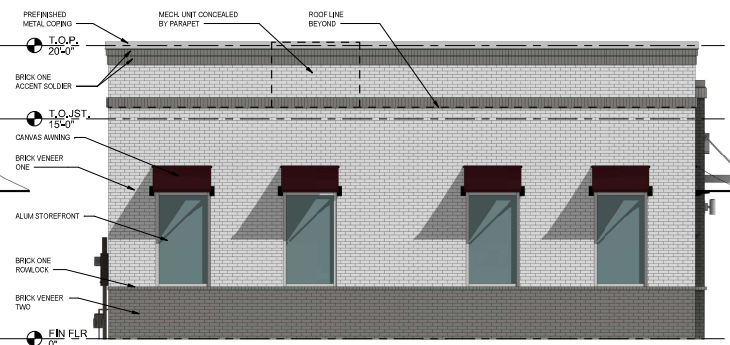
2 WEST FRONT ELEVATION
SCALE: 1/4" = 1'-0"



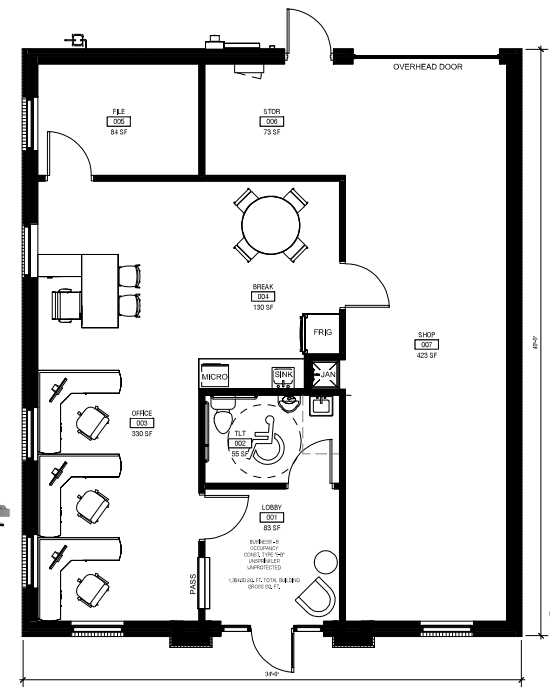
4 SOUTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST REAR ELEVATION
SCALE: 1/4" = 1'-0"



5 NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

FACADE MATERIAL TOTAL SURFACE AREA:

BRICK VENEER ONE	255.81 S.F.	30%
BRICK VENEER TWO	296.21 S.F.	43%
METAL CORNICE & ACCENT	15.90 S.F.	02%
STOREFRONT GLASS	117.32 S.F.	17%
TOTAL MASS AREA	685.24 S.F.	100%

FACADE MATERIAL TOTAL SURFACE AREA:

BRICK VENEER ONE	516.67 S.F.	71%
BRICK VENEER TWO	212.78 S.F.	26%
METAL CORNICE & ACCENT	20.49 S.F.	03%
TOTAL MASS AREA	811.94 S.F.	100%

FACADE MATERIAL TOTAL SURFACE AREA:

BRICK VENEER ONE	150.12 S.F.	19%
BRICK VENEER TWO	414.07 S.F.	60%
METAL CORNICE & ACCENT	15.50 S.F.	02%
METAL DOORS	125.25 S.F.	19%
TOTAL MASS AREA	685.24 S.F.	100%

FACADE MATERIAL TOTAL SURFACE AREA:

BRICK VENEER ONE	212.86 S.F.	26%
BRICK VENEER TWO	483.48 S.F.	59%
METAL CORNICE & ACCENT	20.49 S.F.	03%
STOREFRONT GLASS	95.11 S.F.	12%
TOTAL MASS AREA	811.94 S.F.	100%

MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

November 19, 2025

PROJECT PLANNER: Marc Shackelford-Rowell

- 5.c. Southpointe Business Park, Lot 17 [2025-2085] horizontal property regime plat for 2 commercial units on a 3.24-acre lot zoned L-I located along, Beacon Properties developer. (Project Planner: Marc Shackelford-Rowell)**

This is a horizontal property regime plat for Southpointe Business Park, Lot 17. The purpose of this plat is to create 2 commercial units, common areas, and limited common areas. Staff recommends that any approval of this final plat be made subject to all staff comments.



Staff Comments

Development Services – Planning

Marc Shackelford-Rowell, 615.893.6441, msrowell@murfreesborotn.gov

1. Please include a copy of CCRS with application to demonstrate perpetual maintenance.
2. Please update the lawyer signing block with the lawyer's name.

Development Services – Engineering

Lee Holliman 615.893.6441 lholliman@murfreesborotn.gov

1. No engineering staff comments.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750 tstevens@murfreesborotn.gov

1. No Comments

Consolidated Utility District

Will Steele, 615.225.3313, wsteele@ cudrc.com

1. No comments.

Middle Tennessee Electric Membership Corporation

Chris Barns, 615.494.0428, murfreesborocity.engineering@mtemc.com

1. No comments.

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1. No comment.

Murfreesboro Water Resources Department

David Pendley, 615-848-3200, dpendley@murfreesborotn.gov

1. Submit Final Plat to MWRD for review. Prior to sending, field-locate, survey, and include on the plat any newly installed and/or existing water/sewer/repurified water mains, service stubs, meters, and cleanouts (appurtenances). This plat will be overlaid into GIS to check easements and whether the appurtenances are within the easements.

Informational and Procedural Comments

Development Services – Planning

Marc Shackelford-Rowell, 615.893.6441, msrowell@murfreesborotn.gov

1. Per the engineer’s certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (05/09/2023) for the City of Murfreesboro.
2. This plan is not affected by the City’s Major Transportation Plan.
3. In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case or new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers’ installation of conduit, pedestals or vaults, and laterals referred to as “equipment” to be provided at such providers’ expense.

Development Services – Engineering

Lee Holliman 615.893.6441 lholliman@murfreesborotn.gov

1. Prior to submitting the final plat to the Planning Department for signatures, submit an Engineer’s Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
2. Prior to submitting the final plat to the Planning Department for signatures, a subdivision surety for roads and drainage must be submitted in accordance with the City’s subdivision regulations.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

1. The Planning Commission does not approve signage. Any signage that is shown on exterior building elevations, renderings, or site plans are not approved when those plans are reviewed as a function of the site plan and plat review processes.
2. Sign permits and reviews are a separate approval process, please reach out to Sign Administrator, Teresa Stevens at tstevens@murfreesborotn.gov for additional information.
3. Sign reviews can include temporary signs, attached signs, and ground signs. Strip lighting that is placed under an eave and outline lighting placed on the exterior of a building or canopy may be considered signs and require a separate review as well.
4. For proposed flagpole(s), the flagpole(s) shall be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for the flagpole(s) are established in the Sign Ordinance.
5. Any ground sign or freestanding wall sign (monument sign) to be located within a public utility or drainage easement shall have a completed and recorded City of Murfreesboro revocable license agreement with easement holders.
6. Any site and building signage installed prior to issuance of Certificate of Occupancy must have a sign permit issued. Any signs installed without a sign permit will delay your Certificate of Occupancy.
7. Proposed site signage to be installed shall be shown on utility and site plans. Proposed building signage shall be shown on elevation drawings.

Consolidated Utility District

Will Steele, 615.225.3313, wsteele@ cudrc.com

- A. Submit plat directly to CUDengineering@ cudrc.com for further review and comment.

Middle Tennessee Electric Membership Corporation

Chris Barns, 615.494.0428, murfreesborocity.engineering@ mtemc.com

1. No Comments

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@ murfreesborotn.gov

1. No Comments

Murfreesboro Water Resources Department

David Pendley, 615.848.3200, dpendley@ murfreesborotn.gov

1. Submit Final Plat to MWRD for review. Prior to sending, field-locate, survey, and include on the plat any newly installed and/or existing water/sewer/repurified water mains, service stubs, meters, and cleanouts (appurtenances). This plat will be overlaid into GIS to check easements and whether the appurtenances are within the easements.

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, UTILITIES THEREIN, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE
RECORD BOOK 252I, PAGE 157B

CHRISTOPHER A. RUDD
(MANAGER)
FOUNDRY SOUTHPOINTE, LLC.

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1 TO 10,000 OR GREATER AS SHOWN HEREON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN, OR WILL BE, PLACED AS SHOWN TO THE SPECIFICATIONS OF THE CITY ENGINEER.

SEC, INC.
DATE 11/5/25
REGISTERED SURVEYOR

TENN. R.L.S. No. 2381

CERTIFICATE OF THE APPROVAL OF STREETS AND DRAINAGE

I HEREBY CERTIFY: (1) THAT STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND STORMWATER QUALITY CONTROLS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE
CITY ENGINEER

CERTIFICATE OF APPROVAL OF WATER SYSTEMS
CITY OF MURFREESBORO WATER SERVICE JURISDICTION

I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE
MURFREESBORO WATER RESOURCES OFFICIAL

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, DESIGN CRITERIA FOR SEWAGE WORKS; (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME; OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE
MURFREESBORO WATER RESOURCES OFFICIAL

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER
MIDDLE TENNESSEE ELECTRIC SERVICE JURISDICTION

MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTE) WILL PROVIDE ELECTRIC SERVICE TO THE SUBJECT PROPERTY ACCORDING TO THE NORMAL OPERATING PRACTICES OF MTE AS DEFINED IN THE RULES AND REGULATIONS, BYLAWS, POLICY BULLETINS AND OPERATIONAL BULLETINS OF MTE, AND IN ACCORDANCE WITH THE PLAT APPROVAL CHECKLIST, TREE PLANTING GUIDELINES AND OTHER REGULATIONS CONTAINED ON THE MTE WEBSITE AT MTE.COM (COLLECTIVELY THE "REQUIREMENTS"). NO ELECTRIC SERVICE WILL BE PROVIDED UNTIL MTE'S REQUIREMENTS HAVE BEEN MET AND APPROVED IN WRITING BY AN AUTHORIZED REPRESENTATIVE OF MTE. ANY APPROVAL IS, AT ALL TIMES, CONTINGENT UPON CONTINUING COMPLIANCE WITH MTE'S REQUIREMENTS.

DATE
MIDDLE TENNESSEE ELECTRIC

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE.

DATE
PLANNING COMMISSION SECRETARY

CERTIFICATE OF COMPLIANCE WITH THE HORIZONTAL PROPERTY ACT

I HEREBY CERTIFY THAT THIS PLAT HAS BEEN PREPARED IN CONFORMANCE WITH THE HORIZONTAL PROPERTY ACT, TCA 66-27-101, ET. SEQ.

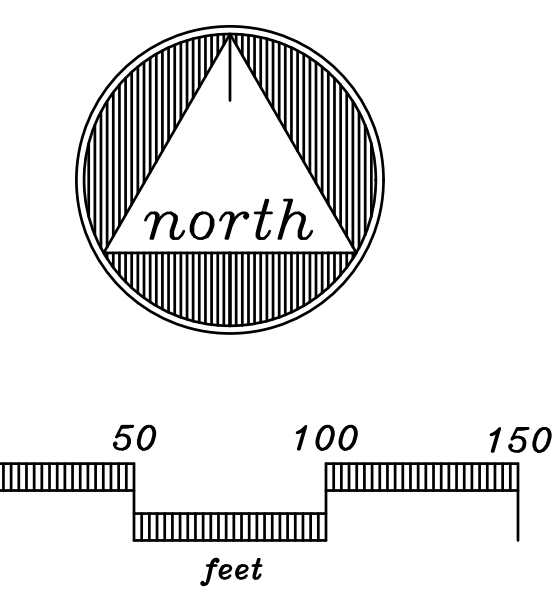
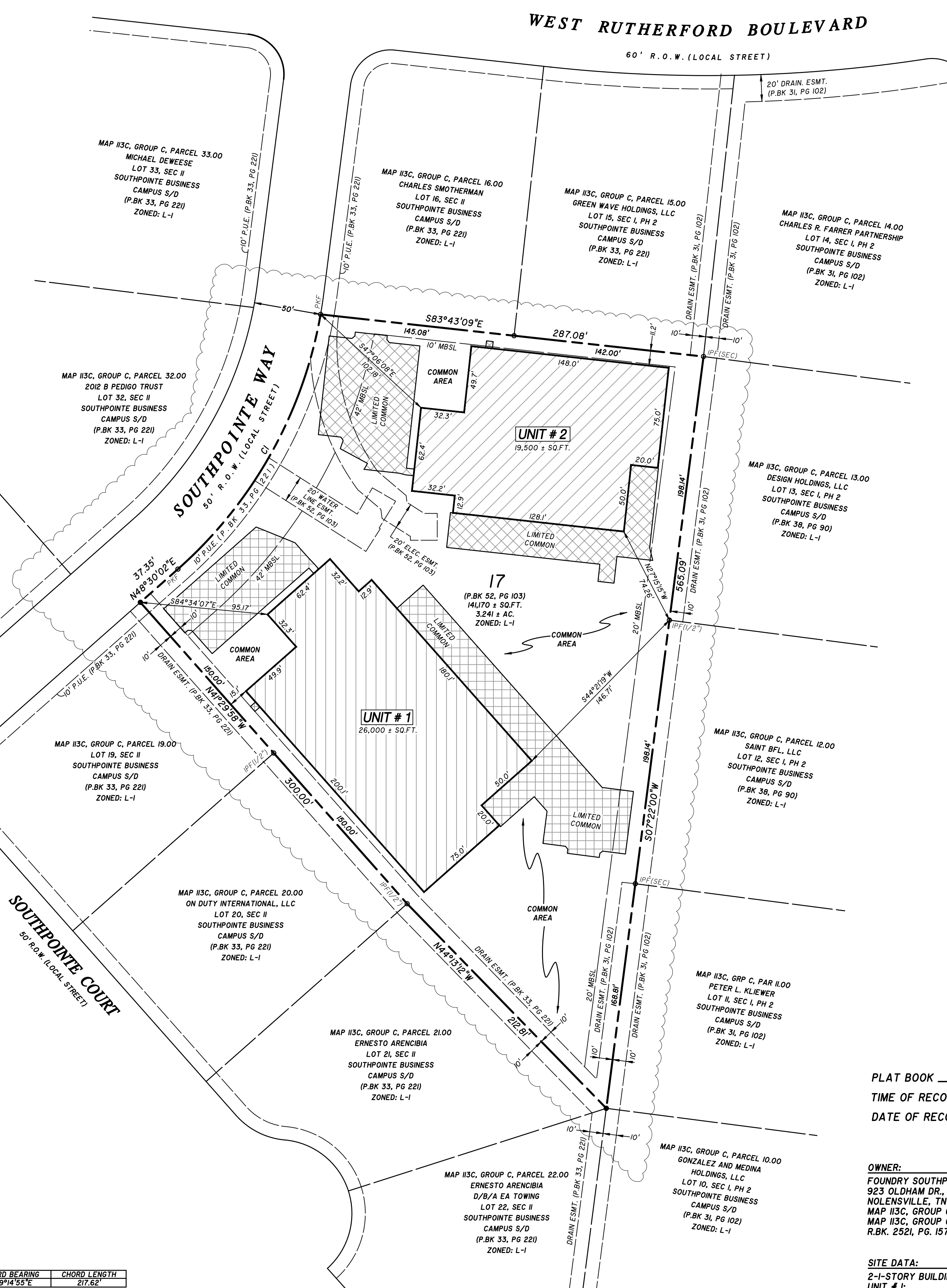
DATE
ATTORNEY



CURVE DATA

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
01	330.00	38°30'4"	221.77	N29°14'53"E	217.62

LOT 17 WAS COMBINED WITH LOT 18 TO CREATE ONE LOT OF RECORD ON A FINAL PLAT ENTITLED "RESUBDIVISION OF LOTS 17 & 18, OF SECTION 2, SOUTHPOINTE BUSINESS CAMPUS SUBDIVISION" OF RECORD IN PLAT BOOK 52, PAGE 103, R.O.R.C., TN.



- GENERAL NOTES**
- THE PURPOSE OF THIS HORIZONTAL PROPERTY REGIME AND PRIVATE ELEMENT PLAT IS TO CREATE 2 OFFICE/WAREHOUSE BUILDINGS, COMMON AREAS, AND LIMITED COMMON ELEMENTS IN ACCORDANCE WITH THE TENNESSEE HORIZONTAL PROPERTY ACT, AND TO ENABLE BUILDINGS TO BE CONVEYED IN FEE SIMPLE TITLE. EACH BUILDING SHALL HOLD FEE SIMPLE TITLE TO THE REAL ESTATE UNDER THE FOOTPRINT OF THEIR RESPECTIVE BUILDINGS.
 - ANY AREA NOT DESIGNATED HEREON AS EITHER A BUILDING UNIT OR A LIMITED COMMON ELEMENT SHALL BE DESIGNATED AS COMMON AREA OR GENERAL COMMON ELEMENT FOR THE USE AND BENEFIT OF ALL OWNERS WITHIN THE HORIZONTAL PROPERTY REGIME.
 - BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO THE T.D.O.T. GNSS REFERENCE NETWORK (NAD 83-96) (NAVD-88).
 - THIS PROPERTY LIES WITHIN ZONE X, NOT IN A SPECIAL FLOOD HAZARD AREA, AS DETERMINED FROM ELEVATIONS SHOWN ON FEMA FIRM MAPS FOR RUTHERFORD COUNTY, MAP NO. 47149C0260 J, EFFECTIVE DATE MAY 9, 2023.
 - THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. AVAILABILITY AND LOCATION OF UTILITIES SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY.
 - NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR, THEREFORE, THIS PROPERTY IS SUBJECT TO THE FINDINGS OF A CURRENT AND ACCURATE TITLE SEARCH.
 - SUBJECT PROPERTY IS ZONED L-1. MINIMUM BUILDING SETBACKS FOR THIS SITE ARE: FRONT = 42 FT. / SIDE = 10 FT. / REAR = 20 FT.
 - THE SOILS MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT; THEREFORE, THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS, AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
 - IT IS THE RESPONSIBILITY OF EACH LOT BUYER OR BUILDER TO DESIGN AND CONSTRUCT IN ACCORDANCE WITH A SUITABLE GRADING AND DRAINAGE PLAN WHICH WILL CONVEY SURFACE WATER, WITHOUT FLOWING IN THE LOT OR UNDER THE BUILDING, FROM THE BUILDING SITE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
 - PUBLIC UTILITY EASEMENTS AS SHOWN ARE INTENDED FOR NON-EXCLUSIVE USE BY UTILITIES SUCH AS MIDDLE TENNESSEE ELECTRIC, NATURAL GAS COMPANIES, AT&T, CABLE TELEVISION SERVICES AND OTHERS.
 - UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION. AS AN ALTERNATIVE, THE HOME OWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE HOME BUILDER AND/OR HOME OWNER SHALL BE RESPONSIBLE FOR COMPLYING WITH THIS REQUIREMENT.
 - THE STREETS IDENTIFIED ON THIS PLAT MAY BE CONSTRUCTED OR RECONSTRUCTED IN THE FUTURE WITHOUT CONSULTATION OR NOTICE TO THE OWNERS OF THE LOTS IN THE SUBDIVISION.
 - EASEMENTS IN THE SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN THEM UNTIL SOME FUTURE TIME AND THERE MAY BE NO NOTICE OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THIS CONSTRUCTION.
 - A MANDATORY OWNERS ASSOCIATION IS REQUIRED AS A CONDITION OF APPROVAL IN ORDER TO MEET OBLIGATIONS ESTABLISHED BY THE DEVELOPER.
 - THE COMMON AREAS SHOWN HEREON SHALL BE THE RESPONSIBILITY OF THE OWNERS ASSOCIATION TO MAINTAIN.
 - THIS PROPERTY IS SUBJECT TO RESTRICTIVE COVENANTS AS RECORDED IN RECORD BOOK 732, PAGE 382I, AND RECORD BOOK 809, PAGE 198A, R.O.R.C., TN.
 - THIS SITE CONTAINS POST-CONSTRUCTION BEST MANAGEMENT PRACTICES UTILIZED IN TREATING STORMWATER RUNOFF IN ORDER TO COMPLY WITH MURFREESBORO CITY CODE. A STORMWATER MAINTENANCE AGREEMENT IS RECORDED IN RECORD BOOK 254, PAGE 156Q, R.O.R.C., TN.
 - PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY LOT IN THIS SUBDIVISION, THE OWNER SHALL POST A BUILDING PERMIT SURETY IN AN AMOUNT TO BE DETERMINED BY THE CITY ENGINEER TO ASSURE CONSTRUCTION OF LOT INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO SIDE WALKS, DRAINAGE IMPROVEMENTS, OR CONSTRUCTION OF MONTH QUALITY ELEMENTS. SUCH CONSTRUCTION SHALL BE COMPLETED WITHIN NINE (9) MONTHS OF ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
 - THE FINAL PLAT CREATING THE LOT ON WHICH THIS HORIZONTAL PROPERTY REGIME IS LOCATED (I.E. LOT 17) IS ENTITLED "RESUBDIVISION OF LOTS 17 & 18, OF SECTION 2, SOUTHPOINTE BUSINESS CAMPUS SUBDIVISION" AND IS RECORDED IN PLAT BOOK 52, PAGE 103, R.O.R.C., TN.

PLAT BOOK _____, PAGE _____
TIME OF RECORDING: _____
DATE OF RECORDING: _____

OWNER:
FOUNDRY SOUTHPOINTE, LLC.
923 OLDHAM DR., #1329
NOLENSVILLE, TN 37135
MAP 113C, GROUP C, PARCEL 17.00
MAP 113C, GROUP C, PARCEL 18.00
R.B.K. 252I, PG. 157B, R.O.R.C., TN

SITE DATA:
2-1-STORY BUILDINGS
UNIT # 1:
FOOTPRINT AREA = 26,000 ± SQ. FT.
HEIGHT = 32'-4"
UNIT # 2:
FOOTPRINT AREA = 19,500 ± SQ. FT.
HEIGHT = 32'-4"
TOTAL FOOTPRINT AREA = 45,500 ± SQ. FT.
NO. OF LOTS = 1
TOTAL AREA = 3.241 ± ACRES
ZONING = L-1

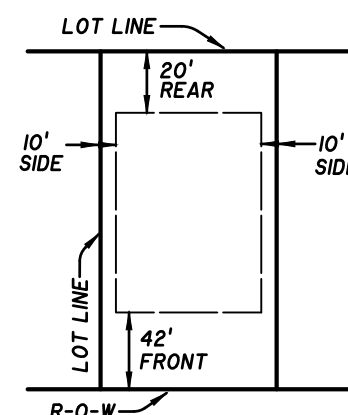
**HORIZONTAL PROPERTY REGIME
PRIVATE ELEMENT PLAT**

**LOT 17, SECTION 2
SOUTHPOINTE BUSINESS CAMPUS
SUBDIVISION**

CITY OF MURFREESBORO, TENNESSEE
13th CIVIL DISTRICT OF RUTHERFORD COUNTY

SEC, Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE
WWW.SEC-CIVIL.COM
850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
PHONE (615) 890-7901 • FAX (615) 895-2567

**TYPICAL MINIMUM BUILDING SETBACKS
FOR L-1 ZONING**
N.T.S.



PROJ. # 2414.08	DATE: 10-16-25 REV: 11-5-25	FILE: SP_1417-HPR	DRAWN BY: JDB	SCALE: 1" = 50'	SHEET 1 OF 1
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MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

November 19, 2025

PROJECT PLANNER: Marc Shackelford-Rowell

- 5.d. The Gardens of Three Rivers, Resubdivision of Lots 49 & 52 [2025-2086] final plat for 6 lots on 0.72 acres zoned PRD located along Barringer Lane and Audubon Lane, Patterson Company, LLC developer. (Project Planner: Marc Shackelford-Rowell)**

This is a final plat for The Gardens at 3 Rivers Lots 49 & 52. The purpose of this plat is to record 6 lots of record from two lots of record. Staff recommend that any approval of this final plat be made subject to all staff comments.



Staff Comments

Development Services – Planning

Marc Shackelford-Rowell, 615.893.6441, msrowell@murfreesborotn.gov

1. No comments.

Development Services – Engineering

Lee Holliman 615.893.6441 lholliman@murfreesborotn.gov

1. Remove all clouding prior to finalizing the plat.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750 tstevens@murfreesborotn.gov

1. No Comments

Consolidated Utility District

Will Steele, 615.225.3313, wsteele@ cudrc.com

1. No comments.

Middle Tennessee Electric Membership Corporation

Chris Barns, 615.494.0428, murfreesborocity.engineering@mtemc.com

1. No comments.

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1. No comment.

Murfreesboro Water Resources Department

David Pendley, 615-848-3200, dpendley@murfreesborotn.gov

1. Submit Final Plat to MWRD for review. Prior to sending, field-locate, survey, and include on the plat any newly installed and/or existing water/sewer/repurified water mains, service stubs, meters, and cleanouts (appurtenances). This plat will be overlaid into GIS to check easements and whether the appurtenances are within the easements.

Informational and Procedural Comments

Development Services – Planning

Marc Shackelford-Rowell, 615.893.6441, msrowell@murfreesborotn.gov

1. Per the engineer's certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (05/09/2023) for the City of Murfreesboro.
2. This plan is affected by the City's Major Transportation Plan. There are proposed improvements along Veterans Parkway to a 5-lane road. There are also planned improvements along Saint Andrews that would increase it from a 2-lane road to a 3-lane road. New Salem Highway also has planned improvements that would increase it from a 3-lane road to a 5-lane road.
3. In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Lee Holliman 615.893.6441 lholliman@murfreesborotn.gov

1. Prior to submitting the final plat to the Planning Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
2. Prior to submitting the final plat to the Planning Department for signatures, a subdivision surety for roads and drainage must be submitted in accordance with the City's subdivision regulations.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

1. The Planning Commission does not approve signage. Any signage that is shown on exterior building elevations, renderings, or site plans are not approved when those plans are reviewed as a function of the site plan and plat review processes.
2. Sign permits and reviews are a separate approval process, please reach out to Sign Administrator, Teresa Stevens at tstevens@murfreesborotn.gov for additional information.
3. Sign reviews can include temporary signs, attached signs, and ground signs. Strip lighting that is placed under an eave and outline lighting placed on the exterior of a building or canopy may be considered signs and require a separate review as well.
4. For proposed flagpole(s), the flagpole(s) shall be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for the flagpole(s) are established in the Sign Ordinance.
5. Any ground sign or freestanding wall sign (monument sign) to be located within a public utility or drainage easement shall have a completed and recorded City of Murfreesboro revocable license agreement with easement holders.
6. Any site and building signage installed prior to issuance of Certificate of Occupancy must have a sign permit issued. Any signs installed without a sign permit will delay your Certificate of Occupancy.
7. Proposed site signage to be installed shall be shown on utility and site plans. Proposed building signage shall be shown on elevation drawings.

Consolidated Utility District

Will Steele, 615.225.3313, wsteele@ cudrc.com

1. Submit plat directly to CUDengineering@cudrc.com for further review and comment.

Middle Tennessee Electric Membership Corporation

Chris Barns, 615.494.0428, murfreesborocity.engineering@mtemc.com

1. No Comments

Murfreesboro Fire and Rescue Department

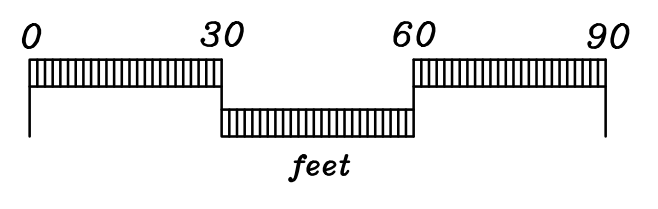
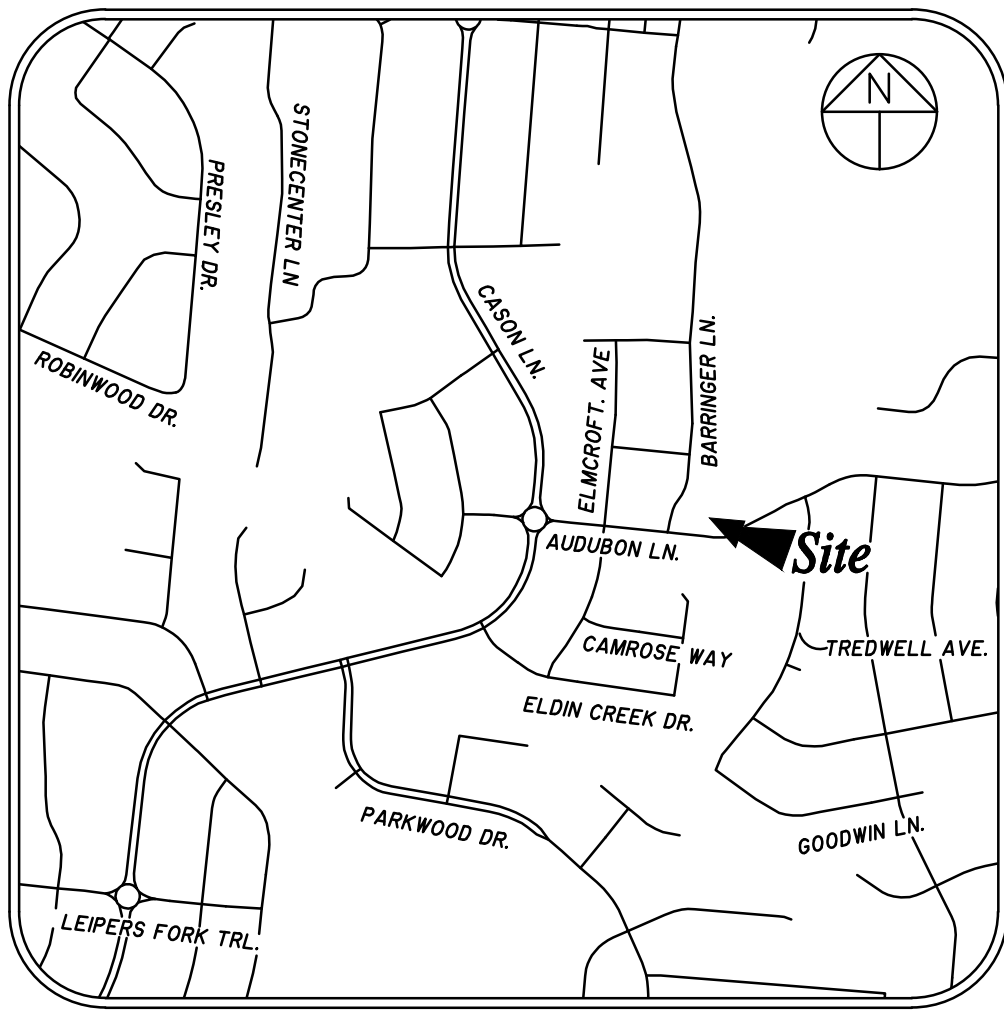
Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1. No Comments

Murfreesboro Water Resources Department

David Pendley, 615.848.3200, dpendley@murfreesborotn.gov

1. Submit Final Plat to MWRD for review. Prior to sending, field-locate, survey, and include on the plat any newly installed and/or existing water/sewer/repurified water mains, service stubs, meters, and cleanouts (appurtenances). This plat will be overlaid into GIS to check easements and whether the appurtenances are within the easements.



CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISHING THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, UTILITIES THEREIN, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE _____

RECORD BOOK 2195, PAGE 3687 PATTERSON COMPANY, LLC
C/O WESLEY K. PATTERSON, PRESIDENT

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 OR GREATER AS SHOWN HEREON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN, OR WILL BE, PLACED AS SHOWN TO THE SPECIFICATIONS OF THE CITY ENGINEER.

SEC. INC. _____
10/17/24 _____
DATE REGISTERED SURVEYOR
TENN. R.L.S. No. 2381 _____



CERTIFICATE OF APPROVAL FOR ELECTRIC POWER
MIDDLE TENNESSEE ELECTRIC SERVICE JURISDICTION

MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTE) WILL PROVIDE ELECTRIC SERVICE TO THE SUBJECT PROPERTY ACCORDING TO THE NORMAL OPERATING PRACTICES OF MTE AS DEFINED IN THE RULES AND REGULATIONS, BYLAWS, POLICY BULLETINS AND OPERATIONAL BULLETINS OF MTE, AND IN ACCORDANCE WITH THE PLAT APPROVAL CHECKLIST, TREE PLANTING GUIDELINES AND OTHER REGULATIONS CONTAINED ON THE MTE WEBSITE AT MTE.COM (COLLECTIVELY THE "REQUIREMENTS"). NO ELECTRIC SERVICE WILL BE PROVIDED UNTIL MTE'S REQUIREMENTS HAVE BEEN MET AND APPROVED IN WRITING BY AN AUTHORIZED REPRESENTATIVE OF MTE. ANY APPROVALS, AT ALL TIMES, CONTINGENT UPON CONTINUING COMPLIANCE WITH MTE'S REQUIREMENTS.

DATE _____ MIDDLE TENNESSEE ELECTRIC

CERTIFICATE OF APPROVAL OF WATER SYSTEMS
CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY WATER SERVICE JURISDICTION

I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS, OR THE SPECIFICATIONS OF THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY IF THEY ARE MORE STRINGENT, AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY TO ASSURE COMPLETION OF SAME.

DATE _____ CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY OFFICIAL

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, DESIGN CRITERIA FOR SEWER WORKS; (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME; OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE _____ MURFREESBORO WATER RESOURCES OFFICIAL

CERTIFICATE OF THE APPROVAL OF STREETS AND DRAINAGE

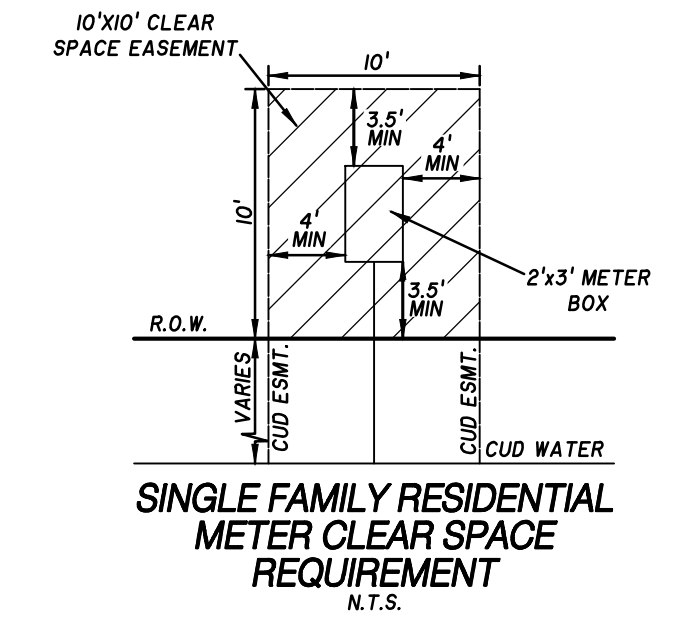
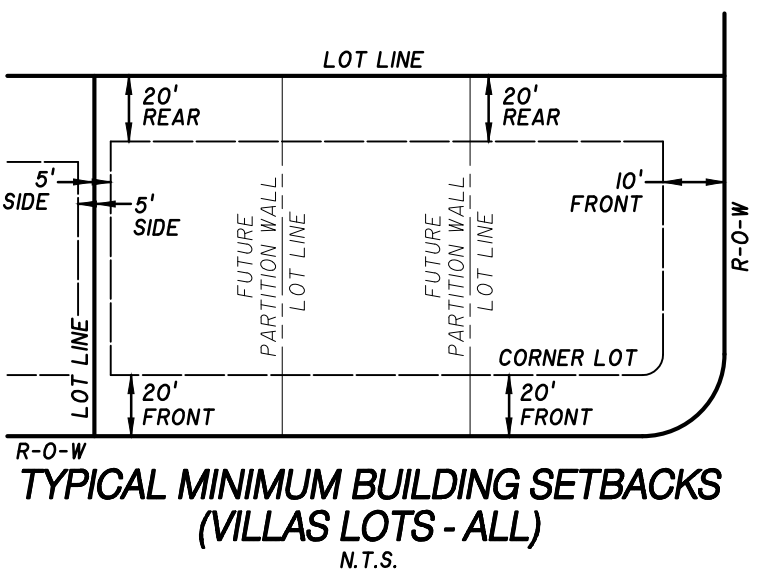
I HEREBY CERTIFY: (1) THAT STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND STORMWATER QUALITY CONTROLS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE _____ CITY ENGINEER

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE.

DATE _____ PLANNING COMMISSION SECRETARY



CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	25.00'	39.73'	35.68'	N 38°39'18" W	9°02'48"
C2	209.00'	104.30'	103.22'	N 2°09'54" E	28°35'36"
C3	205.00'	66.42'	66.13'	S 86°32'23" W	18°33'50"

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 05°45'38" W	125.00'
L2	S 05°36'34" W	125.00'

OWNER:
PATTERSON COMPANY, LLC
1645 WESTGATE CIRCLE,
BRENTWOOD, TN 37027

LAND DATA:
6 LOTS ON 0.724 ± ACRES

DEED REFERENCE:
R.B.K. 2195, PG. 3687
MAP #14N, GROUP I, PARCEL 6.00 & 7.00
ZONING: PRD

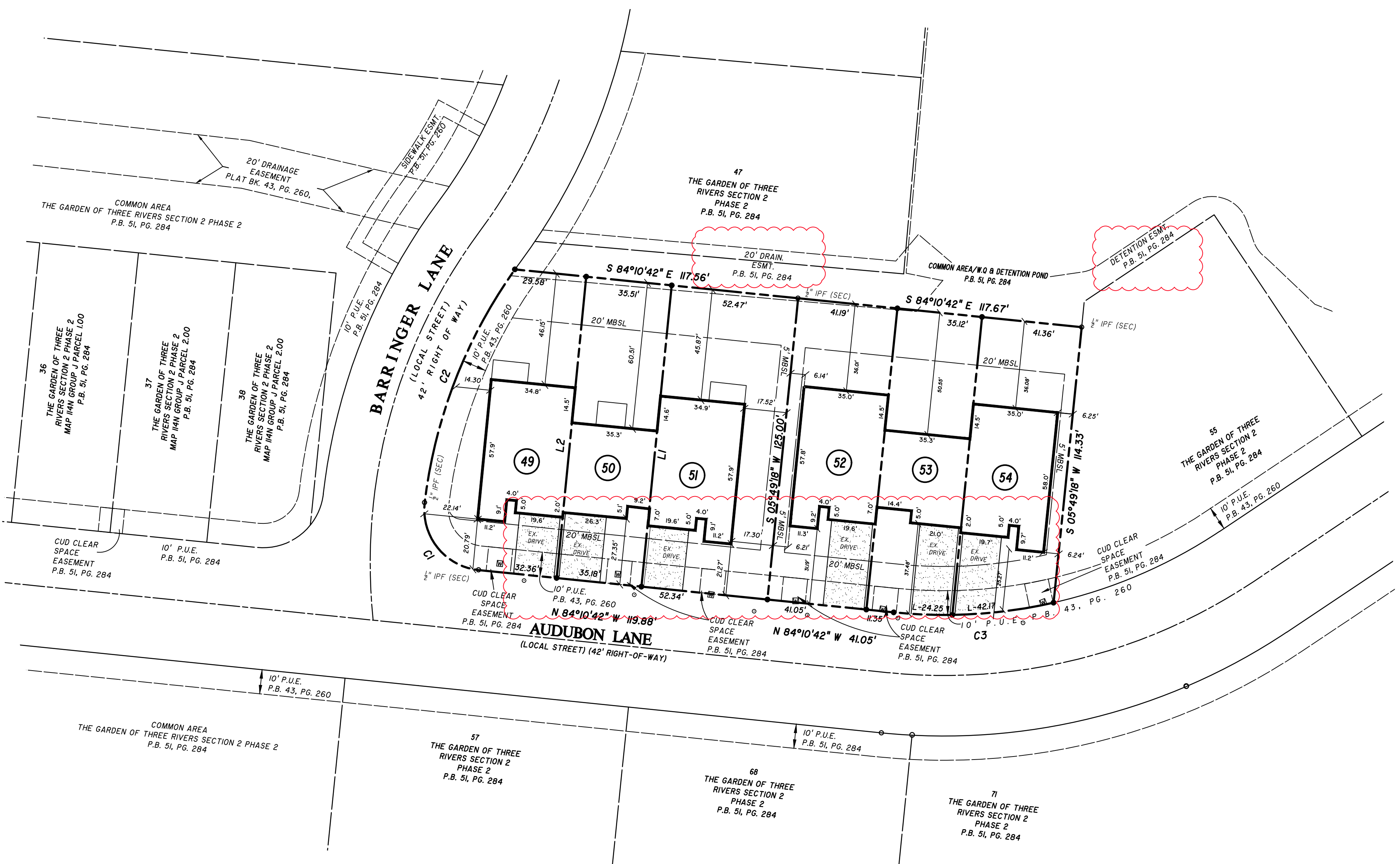
LOT AREA TABLE

LOT NO.	SQ. FEET	ACRES
49	6,094	0.140
50	4,418	0.101
51	6,550	0.150
52	5,140	0.118
53	4,405	0.101
54	4,934	0.113
Total	31,541	0.724

LEGEND

- IRON PIN (FOUND)
- IRON PIN SET (NEW)
- W WATER METER
- SEWER SERVICE

- EASEMENT LINE
- ADJOINER PROPERTY LINE
- LOT LINE
- BOUNDARY LINE FOR THIS PLAT



FINAL PLAT

**THE GARDENS OF THREE RIVERS
SUBDIVISION, RESUBDIVISION OF
LOTS 49, & 52 OF SECTION 2 PHASE 2**

CITY OF MURFREESBORO, TENNESSEE
12th CIVIL DISTRICT OF RUTHERFORD COUNTY

THE RECORDING OF THIS PLAT VOIDS, VACATES AND SUPERSEDES THE RECORDING OF LOT 49 ON A FINAL PLAT ENTITLED "THE GARDENS OF THREE RIVERS SECTION TWO, PHASE TWO AND THE RESUBDIVISION OF COMMON AREA LOTS SECTION ONE, THE GARDENS OF THREE RIVERS SUBDIVISION", AS RECORDED IN PLAT BOOK 51, PAGE 284, R.O.R.C., TN. ALL OTHER INFORMATION ON SAID PLAT, INCLUDING THE RECORDING OF EASEMENTS, REMAINS THE SAME.

PLAT BOOK _____, PAGE _____
TIME OF RECORDING: _____
DATE OF RECORDING: _____

SEC, Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
PHONE (615) 890-7901 • FAX (615) 895-2567

PROJ. # 18150	DATE: 8/20/2025	FILE: G3RIVERS_Resub Lot-49	DRAWN BY: JKK	SCALE: 1" = 30'	SHEET 1 OF 1
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MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

November 19, 2025

PROJECT PLANNER: Marc Shackelford-Rowell

- 5.e. James and Lisa Davis, Lots 1 & 2 [2025-2088] final plat for 2 lots on 5.61 acres zoned CL and RM-16 located along, James and Lisa Davis developers. (Project Planner: Marc Shackelford-Rowell)**

This is a final plat for James and Lisa Davis Subdivision, Lots 1 & 2. The purpose of this plat is to subdivide two lots of record, dedicate a portion of the right-of-way, and to dedicate easements as shown. Staff recommends that any approval of this final plat be made subject to all staff comments.



Staff Comments

Development Services – Planning

Marc Shackelford-Rowell, 615.893.6441, msrowell@murfreesborotn.gov

1. Please clarify ROW dedication in purpose notes. It doesn't appear that any ROW has been dedicated.
2. Will existing buildings remain? If so, accessory structures must be demolished before the recording of this plat.
3. Please ensure that you are referencing the most recent Zoning Ordinance for setbacks requirements.

Development Services – Engineering

Katie Knoel 615.893.6441 knoel@murfreesborotn.gov

1. No comments.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750 tstevens@murfreesborotn.gov

1. No Comments

Consolidated Utility District

Will Steele, 615.225.3313, wsteele@ cudrc.com

1. No comments.

Middle Tennessee Electric Membership Corporation

Chris Barns, 615.494.0428, murfreesborocity.engineering@mtemc.com

1. No comments.

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1. No comment.

Murfreesboro Water Resources Department

Anita Heck, 615-848-3200, aheck@murfreesborotn.gov

1. Submit Final Plat to MWRD for review. Prior to sending, field-locate, survey, and include on the plat any newly installed and/or existing water/sewer/repurified water mains, service stubs, meters, and cleanouts (appurtenances). This plat will be overlaid into GIS to check easements and whether the appurtenances are within the easements.
2. Provide 30' wide sewer easement centered around existing sewer main; MWRD understands part of the existing building on the northern property will be within the proposed easement.
3. Extend proposed easement to the James Martin property to allow for a future connection.
4. If the existing building on proposed Lot 2 is connected to sewer, service lines must be rerouted if they will be crossing into proposed Lot 1, prior to the plat being signed.

Informational and Procedural Comments

Development Services – Planning

Marc Shackelford-Rowell, 615.893.6441, msrowell@murfreesborotn.gov

1. Per the engineer's certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (05/09/2023) for the City of Murfreesboro.
2. This plan is not affected by the City's Major Transportation Plan.
3. In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case or new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Katie Knoel 615.893.6441 knoel@murfreesborotn.gov

1. Prior to submitting the final plat to the Planning Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
2. Prior to submitting the final plat to the Planning Department for signatures, a subdivision surety for roads and drainage must be submitted in accordance with the City's subdivision regulations.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

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4. For proposed flagpole(s), the flagpole(s) shall be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for the flagpole(s) are established in the Sign Ordinance.
5. Any ground sign or freestanding wall sign (monument sign) to be located within a public utility or drainage easement shall have a completed and recorded City of Murfreesboro revocable license agreement with easement holders.
6. Any site and building signage installed prior to issuance of Certificate of Occupancy must have a sign permit issued. Any signs installed without a sign permit will delay your Certificate of Occupancy.
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Consolidated Utility District

Will Steele, 615.225.3313, wsteele@ cudrc.com

1. Submit plat directly to CUDengineering@ cudrc.com for further review and comment.

Middle Tennessee Electric Membership Corporation

Chris Barns, 615.494.0428, murfreesborocity.engineering@mtemc.com

1. No Comments

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1. No Comments

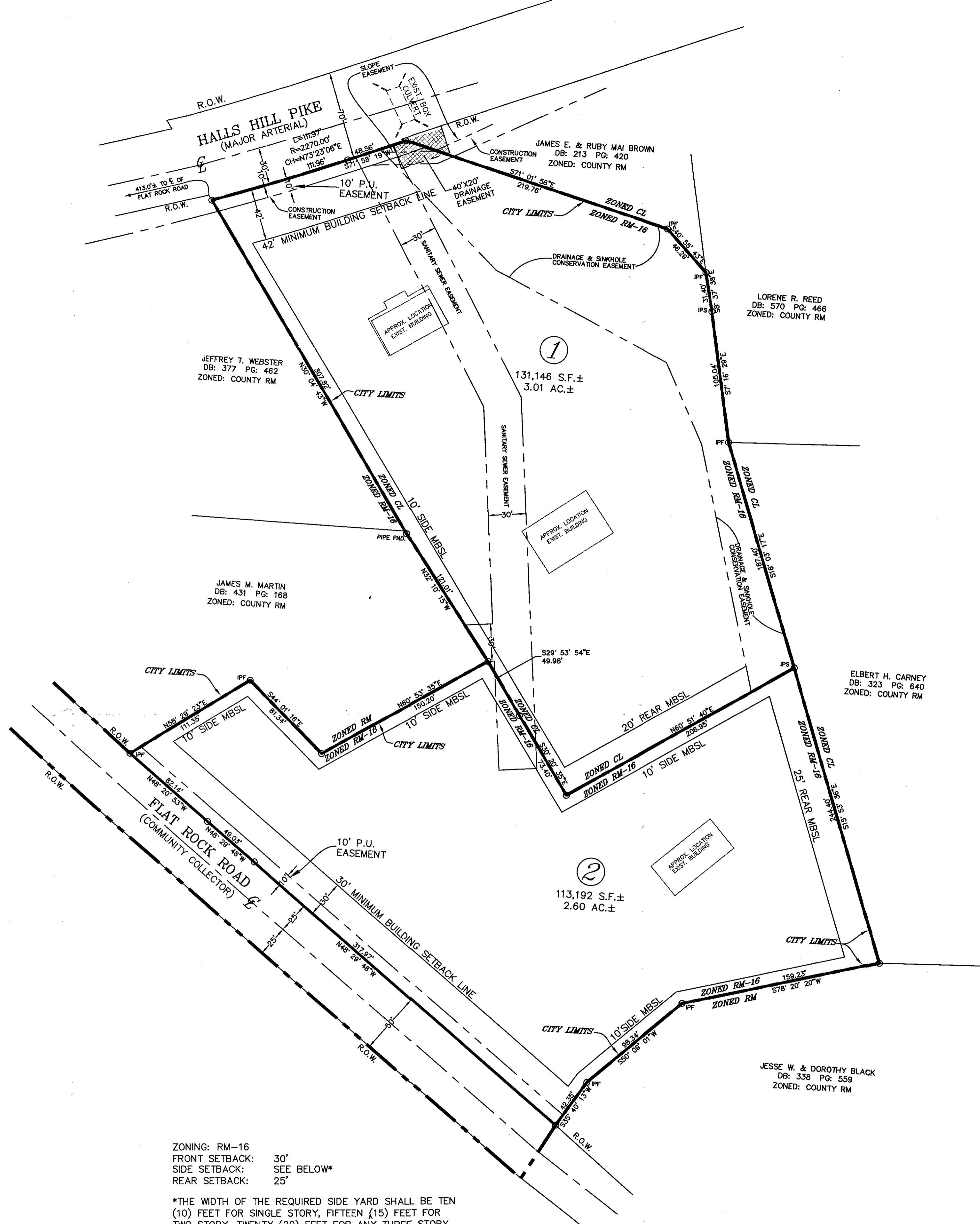
Murfreesboro Water Resources Department

Anita Heck, 615.848.3200, aheck@murfreesboro.gov

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NOTES:

1. IN TENNESSEE, IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.
2. UNDERGROUND UTILITIES SHOWN WERE LOCATED USING AVAILABLE ABOVE-GROUND EVIDENCE, AND ALSO FROM INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES. THE EXISTENCE OR NON-EXISTENCE OF THE UTILITIES SHOWN AND ANY OTHER UTILITIES WHICH MAY BE PRESENT ON THIS SITE OR ADJACENT SITES SHOULD BE CONFIRMED WITH THE UTILITY OWNER PRIOR TO COMMENCING ANY WORK.



ZONING: RM-16
 FRONT SETBACK: 30'
 SIDE SETBACK: SEE BELOW*
 REAR SETBACK: 25'

*THE WIDTH OF THE REQUIRED SIDE YARD SHALL BE TEN (10) FEET FOR SINGLE STORY, FIFTEEN (15) FEET FOR TWO STORY, TWENTY (20) FEET FOR ANY THREE STORY, AND TWENTY-FIVE (25) FEET FOR ANY FOUR-STORY BUILDINGS.

ZONING: CL
 FRONT SETBACK: 42'
 SIDE SETBACK: 10'**
 REAR SETBACK: 20'

**THE MINIMUM SIDE YARD SHALL APPLY ONLY IF THE PROPERTY ABUTS OR IS ADJACENT TO PROPERTY ZONED OR USED FOR RESIDENTIAL PURPOSES OR THE RESIDENTIAL PORTION OF AN APPROVED PLANNED DEVELOPMENT. OTHERWISE, NO SIDE YARD IS REQUIRED.

TAX MAP 90E, "A", PARCEL 5.01
 OWNER: JAMES D. DAVIS JR.
 LISA M. DAVIS
 ADDRESS: 2214 LIONHEART DRIVE
 MURFREESBORO, TN 37130
 FLOOD MAP PANEL: 470168 0280 J ZONE: X
 FLOOD MAP DATED: MAY 9, 2023

GLOBAL POSITION SYSTEM SURVEY NOTES

1. For boundary and topographic aspects of this survey, RTK positioning system (GPS) survey equipment: TOPCON Hilker V-Model #100137-04 (Dual frequency). The GPS portion of this survey was performed using RTK (Real-Time Kinematic) surveying methods. Topographic features shown were obtained by using the TDOT CORS station TN3A for horizontal and for vertical control.
2. The relative positional accuracy is stated in the Category "IV" survey certification located above the surveyor's seal on this drawing.
3. The date that fieldwork was performed for this survey was: 10/02/25.
4. The datum(s) for the TDOT CORS Network Station 3A that was used:
 HORIZ: NAD83(2011) EPOCH 2010
 VERT: NAVD 1988
5. Fixed Control Station designation with positional data:
 TDOT CORS STATION-TN3A
 STATE PLANE (TN 4100-US SURVEY FT.)- NORTHING: 553,312.4528
 EASTING: 1,860,677.584
 ELEVATION: 650.200 FT.
6. Ceoid model used- GEOD03
7. Combined grid factors for TDOT CORS Station TN3A:
 0.999521865 (STATE PLANE-TN 4100-US SURVEY FT.)

PLAT NOTES

1. The purpose of this plat is to subdivide this parcel into two lots of record, to dedicate a portion of right-of-way, and to dedicate easements as shown.
2. In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in Excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
3. Underground utilities shown were located using available aboveground evidence, and also from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
4. It is the responsibility of each builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the structure, from his structure to the drainage system constructed by the subdivision developer.
5. Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
6. Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainages; including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
7. Easements in the subdivision may not have infrastructure constructed within them until some future time. There may be no notice or consultation with the individual lot owners of this construction.
8. Release and Covenant Not to Sue:
 Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
9. The streets identified on the plat may be constructed or reconstructed in the future without consultation or notice to the owners of the lots in the subdivision.

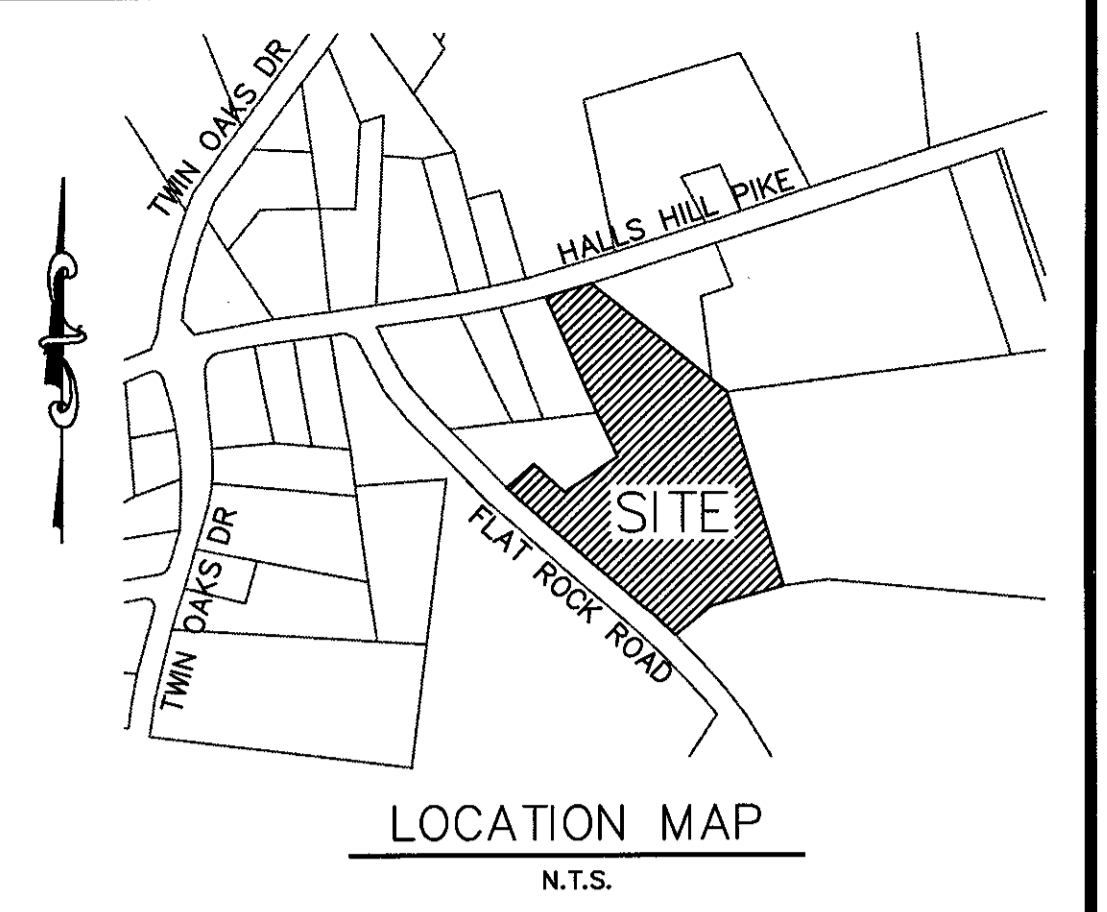
LEGEND FOR MONUMENTS

- IPF ○ IRON PIN SET
- IPF ○ IRON PIN FND.
- RAILROAD SPIKE
- SURVEY POINT
- △ NAIL
- CONC. MARKER FND.

MAGNETIC

TOTAL ACREAGE: 5.61 AC. ±

I hereby certify that this is a Category "IV" survey and the precision of the GPS portion of this survey (in relative positioning accuracy given at the 95% confidence level) is 1:10,000 as shown hereon and that this survey was done in compliance with current Tennessee Minimum Standards of Practice for Land Surveyors.



CERTIFICATE OF OWNERSHIP AND DEDICATION

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks and other open spaces to public or private use as noted.

Date _____ James D. Davis, Jr., owner
 Record Book 1742, Page 3253

 Lisa M. Davis, owner

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I hereby certify that (1) the sewer lines and appurtenances for the sewer system of the subdivision shown hereon have been installed in accordance with city codes and specifications and the requirements of the Tennessee Department of Environment and Conservation, Design Criteria for Sewage Works; (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same; or (3) that a subsurface sewage system will be permitted subject to the approval of the Rutherford County Health Department.

Date _____ Murfreesboro Water Resources Official

Certificate of Approval for Recording

I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for the City of Murfreesboro, Tennessee with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the office of the Rutherford County Register of Deeds provided that it is so recorded within one year of this date.

Date _____ Planning Commission Secretary

Certificate of Approval of Streets and Drainage

I hereby certify that (1) the streets, drainage structures, drainage improvements, and stormwater quality controls for the subdivision shown hereon have been installed in accordance with city specifications, or (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same.

Date _____ City Engineer

CERTIFICATE OF APPROVAL OF WATER SYSTEMS

Certificate of Approval of Water Systems Located in the Water Service Jurisdiction of Consolidated Utility District of Rutherford County

I hereby certify that (1) the water lines and appurtenances for the water system of the subdivision shown hereon have been installed in accordance with city codes and specifications, or the specifications of the Consolidated Utility District of Rutherford County if they are more stringent, and the Tennessee Department of Environment and Conservation, Community Public Water Systems Design Criteria, or (2) that a Surety for these improvements has been posted with the Consolidated Utility District of Rutherford County to assure completion of same.

Date _____ Consolidated Utility District Official

Certificate of Approval for Electric Power in the Electric Service Jurisdiction of Middle Tennessee Electric Membership Corporation

Middle Tennessee Electric Membership Corporation (MTEMC) will provide electric service to the subject property according to the normal operating practices of MTEMC as defined in the rules and regulations, bylaws, policy bulletins and operational bulletins of MTEMC, and in accordance with the plat approval checklist, tree planting guidelines and other regulations contained on the MTEMC website at www.mtemc.com (collectively the "Requirements"). No electric service will be provided until MTEMC's Requirements have been met and approved in writing by an authorized representative of MTEMC. Any approval is, at all times, contingent upon continuing compliance with MTEMC's Requirements.

Date _____ Middle Tennessee Electric Membership Corporation

DATE OF RECORDING: _____
 TIME OF RECORDING: _____
 PLAT BOOK: _____, PAGE: _____



FINAL PLAT

JAMES AND LISA DAVIS
SUBDIVISION

LOTS 1 AND 2
 21ST CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

DATE: OCTOBER, 2025 SCALE 1"=50' SH. 1 OF 1

MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

November 19, 2025

PROJECT PLANNER: Marc Shackelford-Rowell

- 5.f. Shelton Grove, Section 1 [2025-2090] final plat for 55 lots on 15.8 acres zoned PUD located along Manson Court, Southcoast DFH Nashville, LLC developer. (Project Planner: Marc Shackelford-Rowell)**

This is a final plat for Shelton Grove, Section 1. The purpose of this plat is to record 50 lots and 5 townhouse lots from 1 existing parcel and to record right-of-way and easements as shown. Staff recommends that any approval of this final plat be made subject to all staff comments.



Staff Comments

Development Services – Planning

Marc Shackelford-Rowell, 615.893.6441, msrowell@murfreesborotn.gov

1. Please update the plat to show the common area with 16 feet of road frontage so that it meets minimum requirements.

Development Services – Engineering

Katie Knoel 615.893.6441 knoel@murfreesborotn.gov

1. No comments.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750 tstevens@murfreesborotn.gov

1. No Comments

Consolidated Utility District

Will Steele, 615.225.3313, wsteele@ cudrc.com

1. Water line construction must be complete before CUD final approval of plat. CUD reserves the right for further review once project is complete and has been released by the CUD inspector.
2. Water services must be field-located and shown in the correct location.
3. Include CUD required notes and clear space details on plat.
4. Submit plat directly to CUDengineering@cudrc.com for further review and comment.

Middle Tennessee Electric Membership Corporation

Chris Barns, 615.494.0428, murfreesborocity.engineering@mtemc.com

1. No comments.

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1. No comment.

Murfreesboro Water Resources Department

George Reagan, 615-848-3200, greagan@murfreesborotn.gov

1. Submit Final Plat to MWRD for review. Prior to sending, field-locate, survey, and include on the plat any newly installed and/or existing water/sewer/repurified water mains, service stubs, meters, and cleanouts (appurtenances). This plat will be overlaid into GIS to check easements and whether the appurtenances are within the easements.
2. Regarding comment 1) above, all public sewer (existing and proposed) not within public right-of-way must have sewer easements dedicated around it. If such sewer runs through a Common Area, then these Common Areas must also be noted as sewer easements on the plat. Such easements must meet MWRD's minimum sewer depths, according to our policies. Proposed easements must also be contained within this plat's extents, unless proof of an off-site easement recording can be provided.
3. If existing public sewer located on-site has had easements recorded for it already, please show its extents and recording location on the plat. If easements to be recorded with this plat, please ensure this existing sewer is fully contained within the platted sewer easements (meeting MWRD minimum easement width policies).
4. Edit General Note #19 to say the following: "The property lies within the Shelton Square and Overall Creek Sewer Assessment Districts."
5. Since this subdivision requires new public sewer main extensions to serve it, posting surety will likely be required to approve/record this plat. Surety amounts depend on progress of this public sewer construction. Said public sewer is under construction currently.

Informational and Procedural Comments

Development Services – Planning

Marc Shackelford-Rowell, 615.893.6441, msrowell@murfreesborotn.gov

1. Per the engineer's certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (05/09/2023) for the City of Murfreesboro.
2. This plan is affected by the City's Major Transportation Plan. There are planned improvements along Brinkley Road that would increase it from a 3-lane road to a 5-lane road.
3. In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case or new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Katie Knoel 615.893.6441 knoel@murfreesborotn.gov

1. Prior to submitting the final plat to the Planning Department for signatures, submit an Engineer’s Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
2. Prior to submitting the final plat to the Planning Department for signatures, a subdivision surety for roads and drainage must be submitted in accordance with the City’s subdivision regulations.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

1. The Planning Commission does not approve signage. Any signage that is shown on exterior building elevations, renderings, or site plans are not approved when those plans are reviewed as a function of the site plan and plat review processes.
2. Sign permits and reviews are a separate approval process, please reach out to Sign Administrator, Teresa Stevens at tstevens@murfreesborotn.gov for additional information.
3. Sign reviews can include temporary signs, attached signs, and ground signs. Strip lighting that is placed under an eave and outline lighting placed on the exterior of a building or canopy may be considered signs and require a separate review as well.
4. For proposed flagpole(s), the flagpole(s) shall be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for the flagpole(s) are established in the Sign Ordinance.
5. Any ground sign or freestanding wall sign (monument sign) to be located within a public utility or drainage easement shall have a completed and recorded City of Murfreesboro revocable license agreement with easement holders.
6. Any site and building signage installed prior to issuance of Certificate of Occupancy must have a sign permit issued. Any signs installed without a sign permit will delay your Certificate of Occupancy.
7. Proposed site signage to be installed shall be shown on utility and site plans. Proposed building signage shall be shown on elevation drawings.

Consolidated Utility District

Will Steele, 615.225.3313, [wsteele@cudrc.com](mailto:wsteele@ cudrc.com)

1. Submit plat directly to CUDengineering@cudrc.com for further review and comment.

Middle Tennessee Electric Membership Corporation

Chris Barns, 615.494.0428, [murfreesborocity.engineering@mtemc.com](mailto:murfreesborocity.engineering@ mtemc.com)

1. No Comments

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1. No Comments

Murfreesboro Water Resources Department

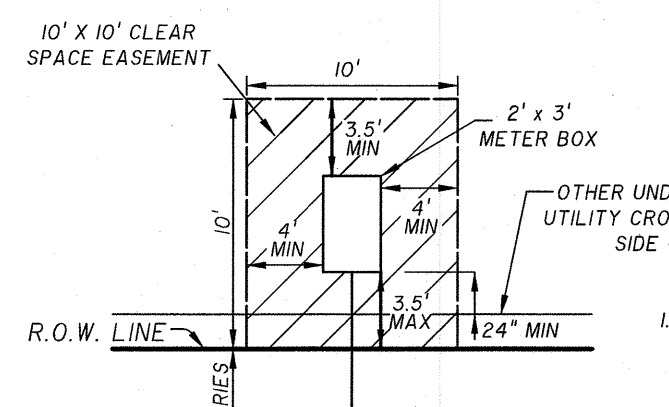
George Reagan, 615.848.3200, greagan@murfreesboro.gov

1. Submit Final Plat to MWRD for review. Prior to sending, field-locate, survey, and include on the plat any newly installed and/or existing water/sewer/repurified water mains, service stubs, meters, and cleanouts (appurtenances). This plat will be overlaid into GIS to check easements and whether the appurtenances are within the easements.

GENERAL NOTES

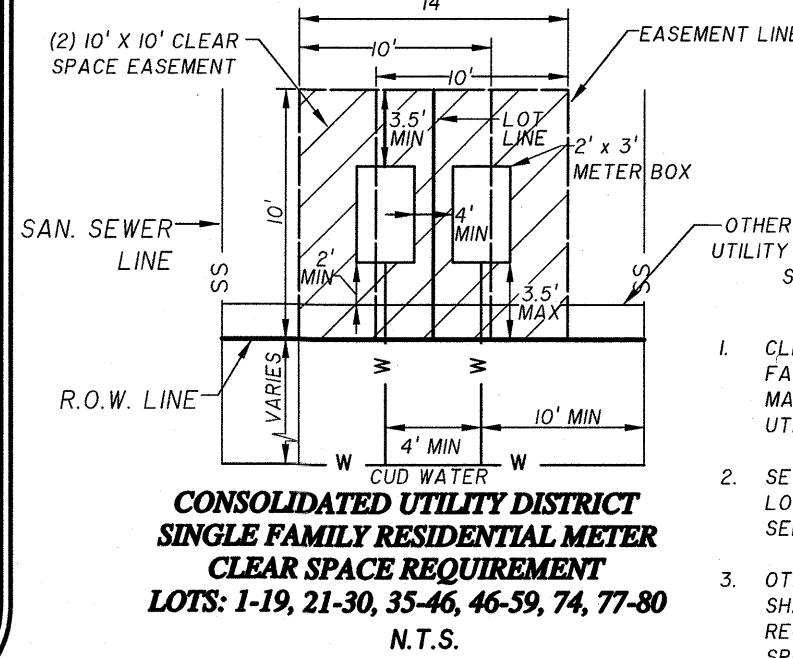
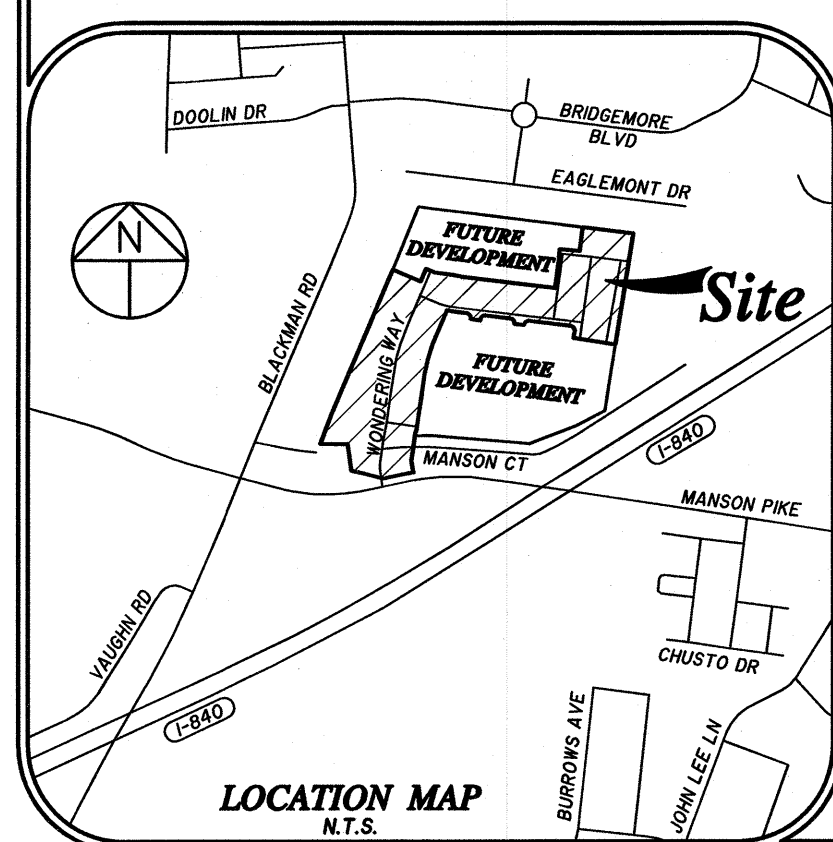
- THE PURPOSE OF THIS FINAL PLAT IS TO CREATE 50 LOTS OF RECORD AND 5 TOWNHOUSE LOTS FROM EXISTING PARCEL B TO RECORD RIGHT-OF-WAY & EASEMENTS, AS SHOWN.
- BEARINGS SHOWN HEREON ARE BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM OF 1983 DERIVED USING THE D.O.T. TENNESSEE GEODETIC REFERENCE NETWORK (TGRN) CONSISTING OF MULTIPLE REFERENCE STATIONS TIED TO NAD83 (2011).
- THIS PROPERTY LIES WITHIN ZONE X, WHICH IS NOT INCLUDED IN AREAS DESIGNATED AS A "SPECIAL FLOOD HAZARD", ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY PANEL NO. 47483C004, EFFECTIVE DATE MAY 9, 2023.
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. AVAILABILITY AND LOCATION OF UTILITIES SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY.
- NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR. THEREFORE, THIS SURVEY IS SUBJECT TO THE FINDINGS OF A CURRENT AND ACCURATE TITLE SEARCH.
- CURRENT PROPERTY IS ZONED PUD. MINIMUM BUILDING SETBACKS FOR THESE SITES ARE AS FOLLOWS:
 LOTS 1-47, 60-63:
 FRONT SETBACK: 35' (TO FACE OF GARAGE)
 FRONT SETBACK: 15' (TO FACE OF HOUSE)
 SIDE SETBACK: 5'
 REAR: 20'
 TOWNHOMES LOTS 48-59, 63-80:
 FRONT SETBACK: 10'
 SIDE: 0' (INTERNAL LOT)
 SIDE SETBACK: 5' (END UNIT)
 SIDE SETBACK: 10' (CORNER LOT)
 REAR SETBACK: 20'
- THE SOILS MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT. THEREFORE, THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
- IT IS THE RESPONSIBILITY OF EACH LOT BUYER OR BUILDER TO DESIGN AND CONSTRUCT IN ACCORDANCE WITH A SUITABLE GRADING AND DRAINAGE PLAN WHICH CONVEY SURFACE WATER, WITHOUT PONDING IN THE LOT OR UNDER THE BUILDING, FROM THE BUILDING SITE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
- PUBLIC UTILITY EASEMENTS AS SHOWN ARE INTENDED FOR NON-EXCLUSIVE USE BY UTILITIES SUCH AS MURFREESBORO ELECTRIC DEPARTMENT, NATURAL GAS COMPANIES, AT&T, CABLE TELEVISION SERVICES AND OTHERS.
- UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION. AS AN ALTERNATIVE, THE HOME OWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGREEMENT WITH THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE HOME BUILDER AND/OR HOME OWNER SHALL BE RESPONSIBLE FOR COMPLYING WITH THIS REQUIREMENT.
- THE STREETS IDENTIFIED ON THIS PLAT MAY BE CONSTRUCTED OR RECONSTRUCTED IN THE FUTURE WITHOUT CONSULTATION OR NOTICE TO THE OWNERS OF THE LOTS IN THE SUBDIVISION.
- EASEMENTS IN THE SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN THEM UNTIL SOME FUTURE TIME AND THERE MAY BE NO NOTICE OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THIS CONSTRUCTION.

(*) MINIMUM BUILDING PAD ELEVATIONS
 MINIMUM PAD ELEVATIONS (MPS) FOR LOTS 1-30 ARE ESTABLISHED DUE TO LOCAL DRAINAGE.



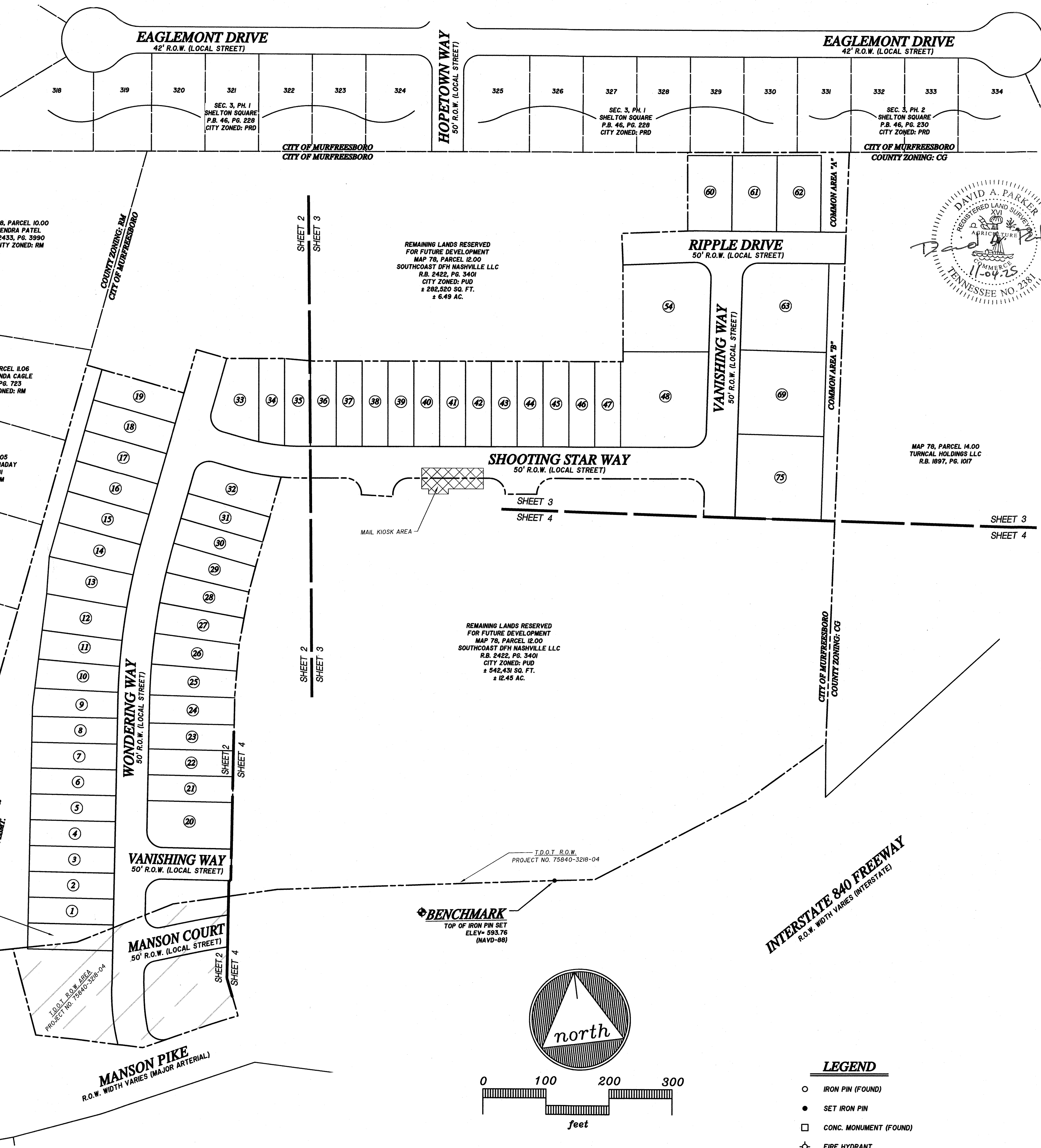
CONSOLIDATED UTILITY DISTRICT SINGLE FAMILY RESIDENTIAL METER CLEAR SPACE REQUIREMENT
 LOTS: 20, 31-34, 47, 60-63, 75, & 76
 N.T.S.

- CLEAR SPACE TO BE VOID OF DRAINAGE FACILITIES, STRUCTURES, DRIVEWAYS, MAILBOXES, SIDEWALKS, TREES, PUBLIC UTILITIES, AND UTILITY SERVICE CONNECTIONS.
- SEWER SERVICE LINE AND TREES TO BE LOCATED A MINIMUM 10 FT. AWAY FROM WATER SERVICE.
- OTHER UNDERGROUND UTILITY CROSSINGS SHALL COMPLY WITH SEPARATION REQUIREMENTS OUTLINED IN C.U.D. TECHNICAL SPECIFICATIONS.

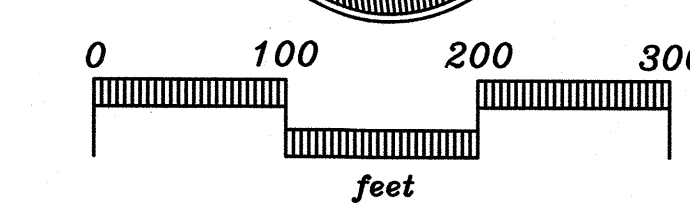


CONSOLIDATED UTILITY DISTRICT SINGLE FAMILY RESIDENTIAL METER CLEAR SPACE REQUIREMENT
 LOTS: 1-19, 21-30, 35-46, 46-59, 74, 77-80
 N.T.S.

- CLEAR SPACE TO BE VOID OF DRAINAGE FACILITIES, STRUCTURES, DRIVEWAYS, MAILBOXES, SIDEWALKS, TREES, PUBLIC UTILITIES, AND UTILITY SERVICE CONNECTIONS.
- SEWER SERVICE LINE AND TREES TO BE LOCATED A MINIMUM 10 FT. AWAY FROM WATER SERVICE.
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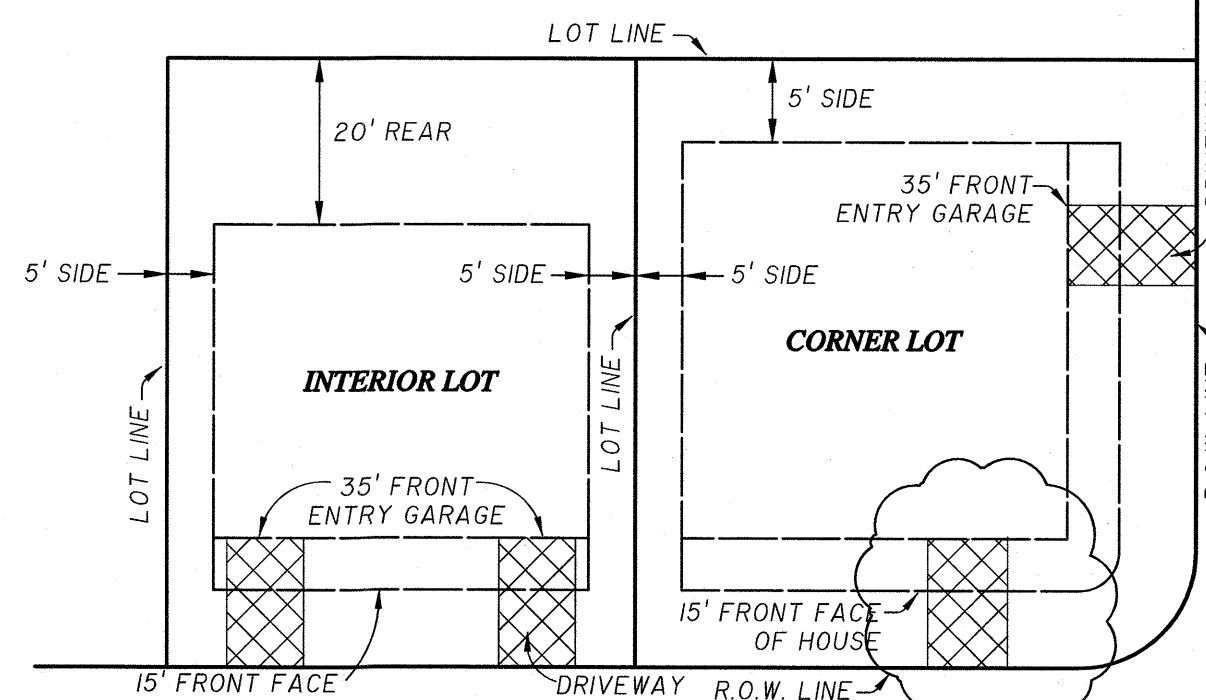


BENCHMARK
 TOP OF IRON PIN SET
 ELEV. 953.76
 (NAVD-88)

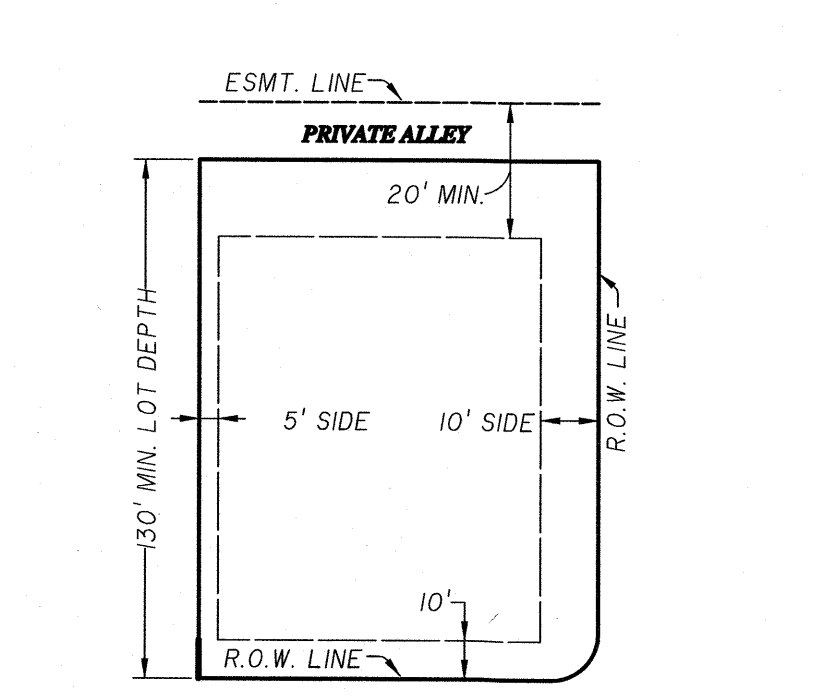


LEGEND

- IRON PIN (FOUND)
- SET IRON PIN
- CONC. MONUMENT (FOUND)
- ⊙ FIRE HYDRANT
- ▨ DRIVEWAY / MAIL KIOSK HATCH
- ▩ TPO HATCH



MINIMUM BUILDING SETBACK DETAIL FOR LOTS: 1-47, 60-63
 N.T.S.



MINIMUM BUILDING SETBACK DETAIL FOR TOWNHOME LOTS: 48, 54, 63, 69, & 75
 N.T.S.

OWNER I
 SOUTHCOAST DFH NASHVILLE LLC
 726 2ND STREET, SUITE 2A, ANNAPOLIS, MD 2403
 MAP 78, PARCEL 12.00
 R.B. 2422, PG. 3401

SITE DATA
 TOTAL AREA = 15.80 ACRES
 TOTAL AREA IN RIGHT-OF-WAY = 3.50 ACRES
 TOTAL COMMON AREA/OPEN SPACE = 3.01 ACRES
 NO. OF LOTS = 50
 NO. OF TOWNHOME LOTS = 5
 ZONING = PUD

CERTIFICATE OF OWNERSHIP AND DEDICATION:
 I (WE) HEREBY CERTIFY THAT I (AM (WE ARE)) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: _____
 DREAM FINDERS HOMES
 VICE PRESIDENT - CRAIG YERIAN

CERTIFICATE OF ACCURACY:
 I HEREBY CERTIFY THAT THIS IS A "CATEGORY IV" SURVEY DONE IN ACCORDANCE WITH THE CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE SET FORTH IN CHAPTER 0820-03-07. THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE RUTHERFORD COUNTY TENNESSEE PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN PLACED AS SHOWN HEREON, TO THE SPECIFICATIONS OF THE COUNTY ROAD COMMISSIONER OR THE COUNTY ENGINEER.

DATE: 11-04-25
 David A. Palko
 REGISTERED SURVEYOR

CERTIFICATE OF THE APPROVAL OF STREETS AND DRAINAGE
 I HEREBY CERTIFY: (1) THAT STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND STORMWATER QUALITY CONTROLS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE: _____
 CITY ENGINEER

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER
 MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTE) WILL PROVIDE ELECTRIC SERVICE TO THE SUBJECT PROPERTY ACCORDING TO THE NORMAL OPERATING PRACTICES OF MTE AS DEFINED IN THE RULES AND REGULATIONS, BYLAWS, POLICY BULLETINS AND OPERATIONAL BULLETINS OF MTE; AND IN ACCORDANCE WITH THE PLAT APPROVAL CHECKLIST, TREE PLANTING GUIDELINES AND OTHER REGULATIONS CONTAINED ON THE MTE WEBSITE AT MTE.COM (COLLECTIVELY THE "REQUIREMENTS"). NO ELECTRIC SERVICE WILL BE PROVIDED UNTIL MTE'S REQUIREMENTS HAVE BEEN MET AND APPROVED IN WRITING BY AN AUTHORIZED REPRESENTATIVE OF MTE. ANY APPROVAL IS, AT ALL TIMES, CONTINGENT UPON CONTINUING COMPLIANCE WITH MTE'S REQUIREMENTS.

DATE: _____
 MIDDLE TENNESSEE ELECTRIC
 OF RUTHERFORD COUNTY

CERTIFICATE FOR APPROVAL OF WATER SYSTEMS
 I HEREBY CERTIFY THAT THE SUBDIVISION MINOR PLAT ENTITLED "SECTION I SHELTON GROVE SUBDIVISION" HAS BEEN APPROVED BY THE ENGINEERS OF CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY FOR WATER SERVICE, PROVIDED HOWEVER, THAT THE LINES, VALVES, AND FITTINGS MUST BE INSTALLED IN ACCORDANCE WITH C.U.D. SPECIFICATIONS AS DETERMINED BY ITS ENGINEERS. NO WATER SERVICE WILL BE PROVIDED UNTIL THAT CERTIFICATION HAS BEEN MADE IN WRITING.

DATE: _____
 CONSOLIDATED UTILITY DISTRICT
 OF RUTHERFORD COUNTY

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS
 I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND THE REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, DESIGN CRITERIA FOR SEWAGE WORKS; (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME; OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE: _____
 MURFREESBORO WATER RESOURCES OFFICIAL

CERTIFICATE OF APPROVAL FOR RECORDING
 I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE.

DATE: _____
 PLANNING COMMISSION SECRETARY

PLAT BOOK _____, PAGE _____
 TIME OF RECORDING: _____
 DATE OF RECORDING: _____

FINAL PLAT
SECTION 1
SHELTON GROVE
SUBDIVISION

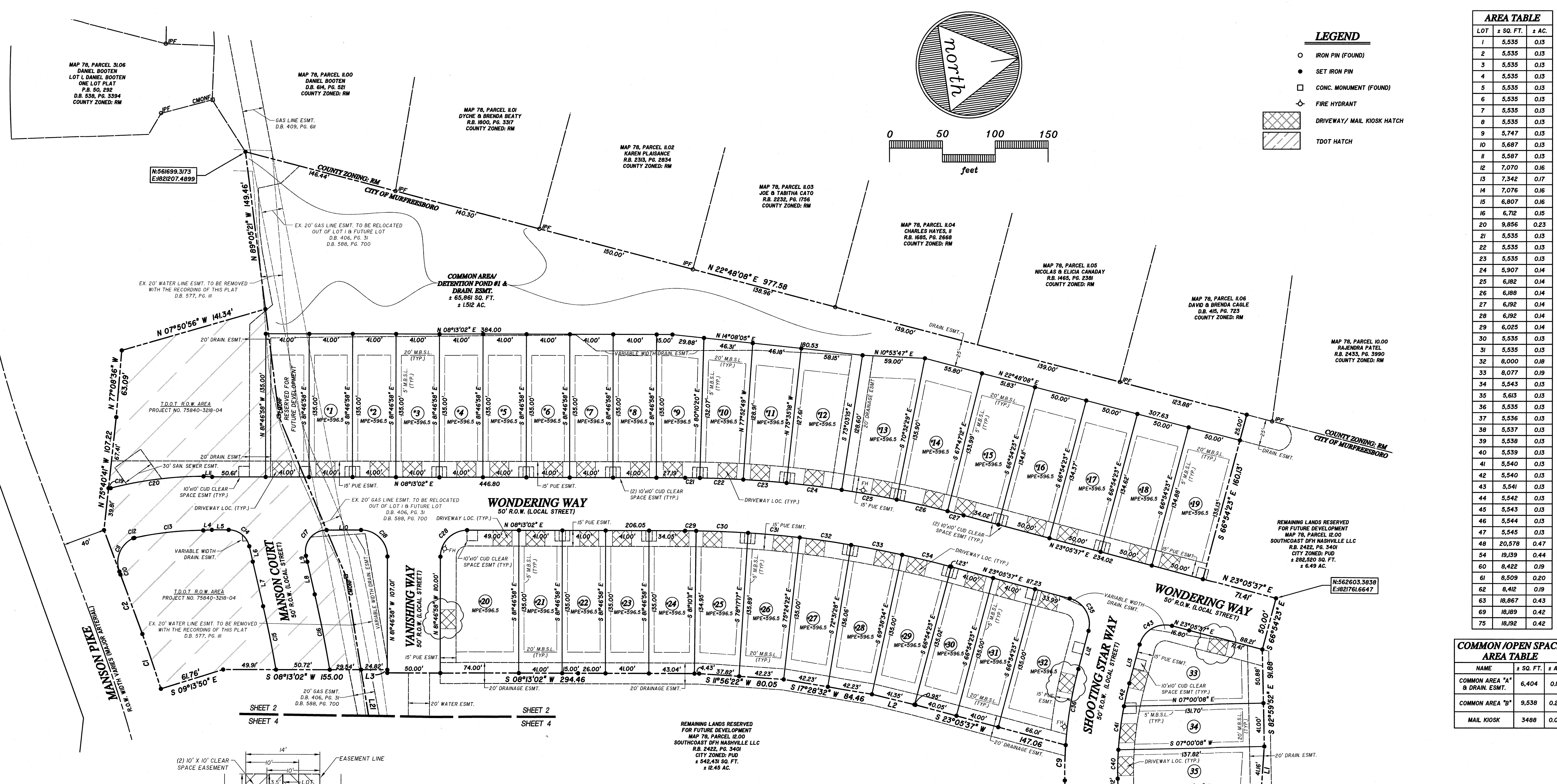
7th CIVIL DISTRICT OF RUTHERFORD COUNTY, TENNESSEE

SEC, Inc. SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 WWW.SEC-CIVIL.COM LANDSCAPE ARCHITECTURE

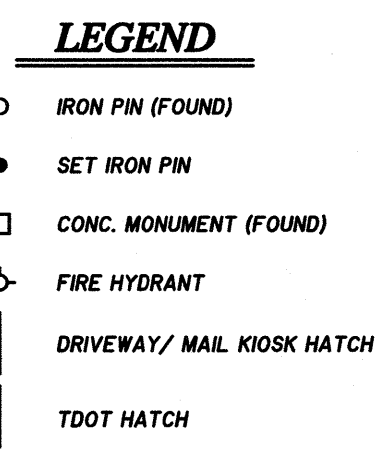
850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
 PHONE (615) 890-7901 • FAX (615) 895-2567

PROJ. # 17166.39	DATE: 10/15/2025 REV: 11/5/2025	FILE: 86-SLWB6	DRAWN BY: MMH	SCALE: 1"=100'	SHEET 1 OF 4
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*REVISIONS PER PLANNING COMMISSION COMMENTS 10/30/25



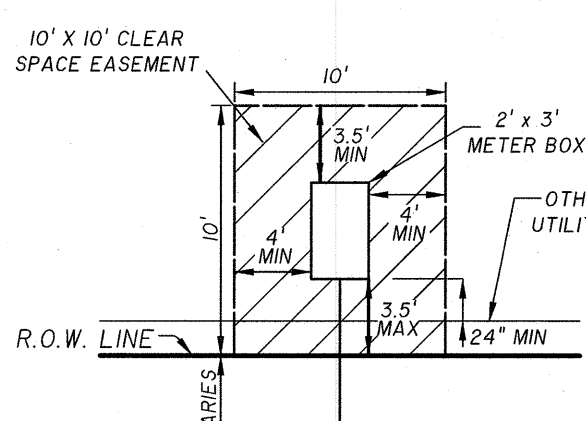
LOT	± SQ. FT.	± AC.
1	5,535	0.13
2	5,535	0.13
3	5,535	0.13
4	5,535	0.13
5	5,535	0.13
6	5,535	0.13
7	5,535	0.13
8	5,535	0.13
9	5,747	0.13
10	5,687	0.13
11	5,567	0.13
12	7,070	0.16
13	7,342	0.17
14	7,076	0.16
15	6,807	0.16
16	6,712	0.15
20	9,856	0.23
21	5,535	0.13
22	5,535	0.13
23	5,535	0.13
24	5,907	0.14
25	6,182	0.14
26	6,186	0.14
27	6,192	0.14
28	6,192	0.14
29	6,025	0.14
30	5,535	0.13
31	5,535	0.13
32	8,000	0.18
33	8,077	0.19
34	5,543	0.13
35	5,613	0.13
36	5,535	0.13
37	5,535	0.13
38	5,537	0.13
39	5,538	0.13
40	5,539	0.13
41	5,540	0.13
42	5,540	0.13
43	5,541	0.13
44	5,542	0.13
45	5,543	0.13
46	5,544	0.13
47	5,545	0.13
48	20,578	0.47
54	19,319	0.44
60	8,422	0.19
61	8,509	0.20
62	8,412	0.19
63	18,867	0.43
65	18,189	0.42
75	18,192	0.42



COMMON OPEN SPACE AREA TABLE

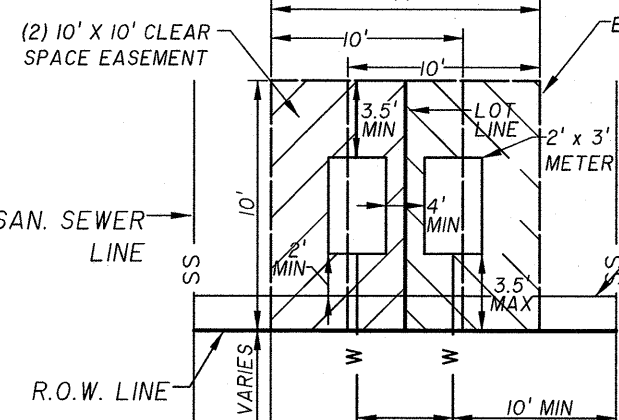
NAME	± SQ. FT.	± AC.
COMMON AREA "A" & DRAIN. ESMT.	6,404	0.15
COMMON AREA "B"	9,538	0.22
MAIL KIOSK	3488	0.08

(*) MINIMUM BUILDING PAD ELEVATIONS
MINIMUM PAD ELEVATIONS (MPE'S) FOR LOTS 1-30 ARE ESTABLISHED DUE TO LOCAL DRAINAGE.



CONSOLIDATED UTILITY DISTRICT SINGLE FAMILY RESIDENTIAL METER CLEAR SPACE REQUIREMENT
LOTS: 20, 31-34, 47, 60-63, 75, & 76
N.T.S.

- CLEAR SPACE TO BE VOID OF DRAINAGE FACILITIES, STRUCTURES, DRIVEWAYS, MAILBOXES, SIDEWALKS, TREES, PUBLIC UTILITIES, AND UTILITY SERVICE CONNECTIONS.
- SEWER SERVICE LINE AND TREES TO BE LOCATED A MINIMUM 10 FT. AWAY FROM WATER SERVICE.
- OTHER UNDERGROUND UTILITY CROSSINGS SHALL COMPLY WITH SEPARATION REQUIREMENTS OUTLINED IN C.U.D. TECHNICAL SPECIFICATIONS.



CONSOLIDATED UTILITY DISTRICT SINGLE FAMILY RESIDENTIAL METER CLEAR SPACE REQUIREMENT
LOTS: 1-19, 21-30, 35-46, 46-59, 74, 77-80
N.T.S.

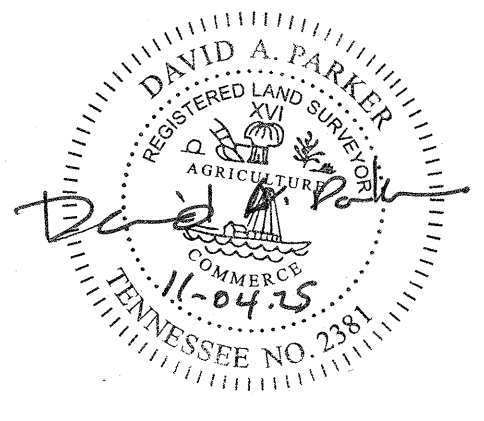
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LINE TABLE

LINE	BEARING	DISTANCE
L1	S 77°56'18" E	48.34
L2	S 24°47'46" W	42.23
L3	N 84°43'59" E	2.99
L4	N 04°43'51" E	8.22
L5	N 08°19'02" E	15.84
L6	N 85°34'14" E	14.94
L7	N 85°03'45" E	43.25
L8	N 85°18'09" E	31.56
L9	N 85°19'02" E	5.77
L10	S 0°19'02" W	32.25
L11	S 1°43'16" W	9.18
L12	N 65°42'21" W	37.30
L13	N 68°54'23" W	38.00
L14	N 88°57'53" W	68.90
L15	N 08°31'31" E	34.35
L16	N 08°31'31" E	34.35
L17	N 82°56'00" W	71.33
L18	S 82°56'00" E	71.00
L19	S 82°56'00" E	71.00
L20	S 84°58'55" E	64.09
L21	N 88°59'57" E	78.00

CURVE TABLE

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	2072.25	9°16'45"	54.89	S 79°58'17" W	54.89
C2	2072.25	0°00'23"	58.96	S 79°58'17" W	58.96
C3	28.00	9°49'24"	40.07	N 3°03'17" W	35.91
C4	28.00	90°00'00"	58.27	S 88°02'07" W	35.36
C5	28.00	90°00'00"	58.27	N 3°03'17" W	35.36
C6	28.00	87°53'17"	38.59	S 23°05'23" E	34.70
C7	28.00	91°09'28"	8.23	S 09°44'04" W	5.23
C8	28.00	33°17'00"	40.70	N 82°56'00" E	36.33
C9	380.00	0°00'23"	2.96	S 77°47'51" W	2.96
C10	2072.25	0°00'23"	58.96	S 77°47'51" W	58.96
C11	28.00	89°07'00"	37.58	N 05°47'25" E	34.19
C12	27.00	1°00'00"	1.00	N 05°47'25" E	1.00
C13	294.50	8°45'28"	65.57	N 09°50'03" E	65.43
C14	20.00	78°50'42"	25.82	N 48°38'23" E	24.86
C15	1097.78	3°19'25"	61.23	N 05°47'25" E	61.23
C16	147.78	3°19'25"	72.66	S 86°26'27" W	72.65
C17	20.00	100°10'41"	38.67	N 43°18'58" W	31.01
C18	20.00	90°00'00"	39.27	N 53°05'16" E	35.36
C19	28.00	4°32'15"	1.98	N 07°42'00" E	1.98
C20	28.00	14°42'51"	88.74	N 00°54'19" E	88.49
C21	1028.00	0°40'20"	51.27	N 05°47'25" E	51.27
C22	1028.00	2°17'37"	41.03	N 10°08'11" E	41.03
C23	1028.00	2°17'42"	41.06	N 18°29'50" E	41.05
C24	1028.00	2°17'42"	41.06	N 82°56'00" E	41.05
C25	1028.00	2°17'42"	41.06	N 17°59'06" E	41.05
C26	1028.00	2°17'42"	41.06	N 20°50'09" E	41.05
C27	1028.00	2°17'42"	41.06	N 23°05'37" E	41.05
C28	28.00	90°00'00"	39.27	N 36°42'55" W	35.36
C29	976.00	0°36'47"	10.43	N 08°32'26" E	10.43
C30	976.00	1°00'00"	43.64	N 09°50'03" E	43.64
C31	976.00	2°56'24"	49.04	N 15°09'11" E	49.03
C32	976.00	2°56'24"	49.04	N 18°29'50" E	49.03
C33	976.00	2°56'24"	49.04	N 18°29'50" E	49.03
C34	976.00	2°56'24"	49.04	N 23°05'37" E	49.03
C35	28.00	90°00'00"	39.27	N 68°05'57" E	35.36
C36	28.00	1°00'00"	7.35	S 72°25'16" E	73.04
C37	208.00	1°48'02"	6.28	S 82°56'00" E	6.28
C38	28.00	92°17'58"	40.23	S 37°14'18" E	36.03
C39	28.00	88°10'36"	38.47	S 52°56'43" W	34.79
C40	328.00	4°47'44"	27.27	N 62°54'55" W	27.27
C41	328.00	7°18'47"	41.48	N 74°30'41" W	41.48
C42	328.00	88°10'36"	22.40	N 68°58'50" W	22.39
C43	28.00	90°00'00"	39.27	N 68°58'50" W	35.36
C44	288.00	2°44'50"	12.20	N 83°42'53" W	12.20
C45	28.00	55°07'05"	23.18	N 38°25'02" E	22.36
C46	28.00	39°40'48"	15.57	N 79°45'59" E	15.52



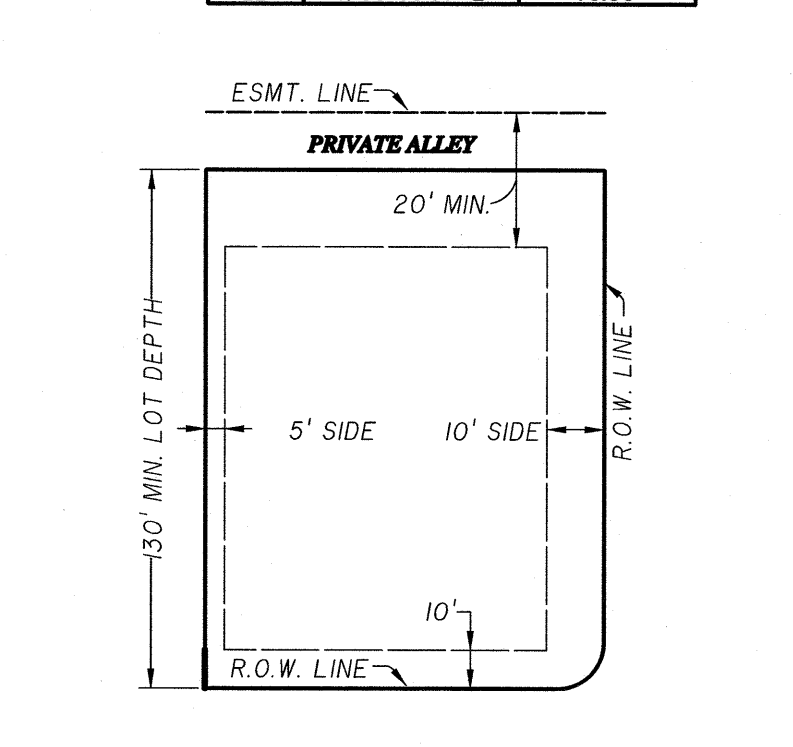
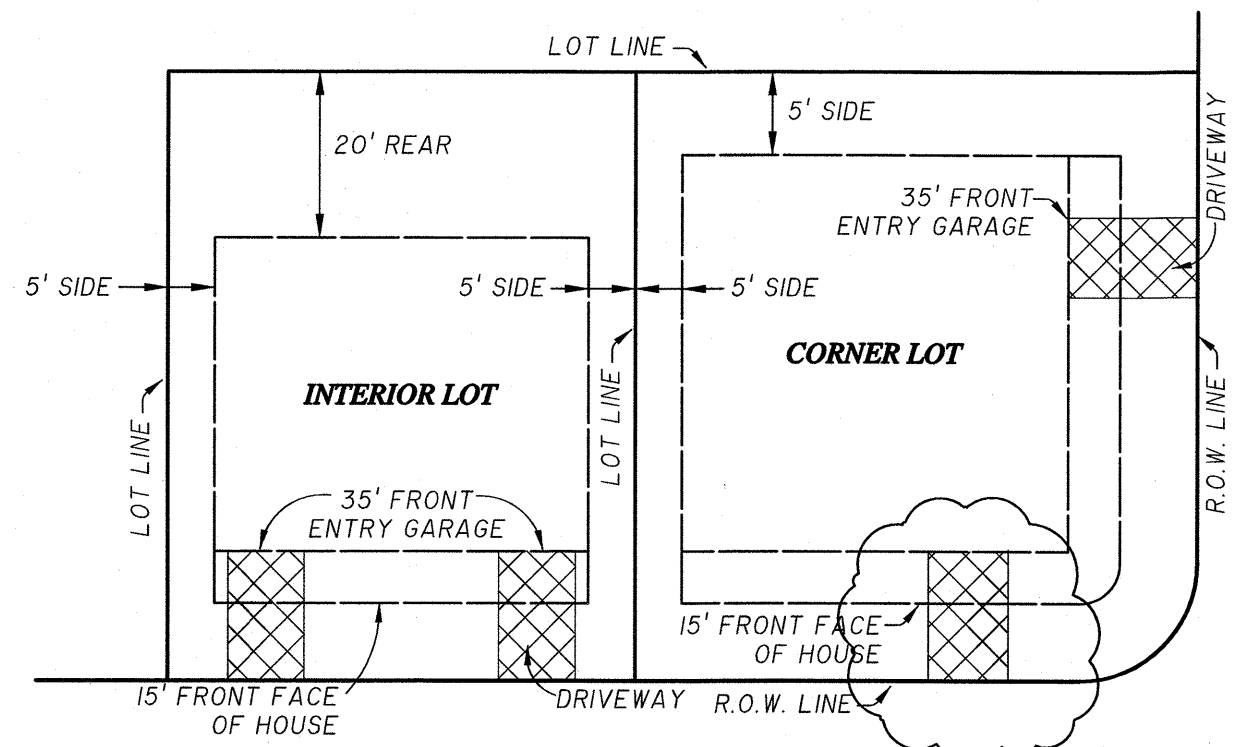
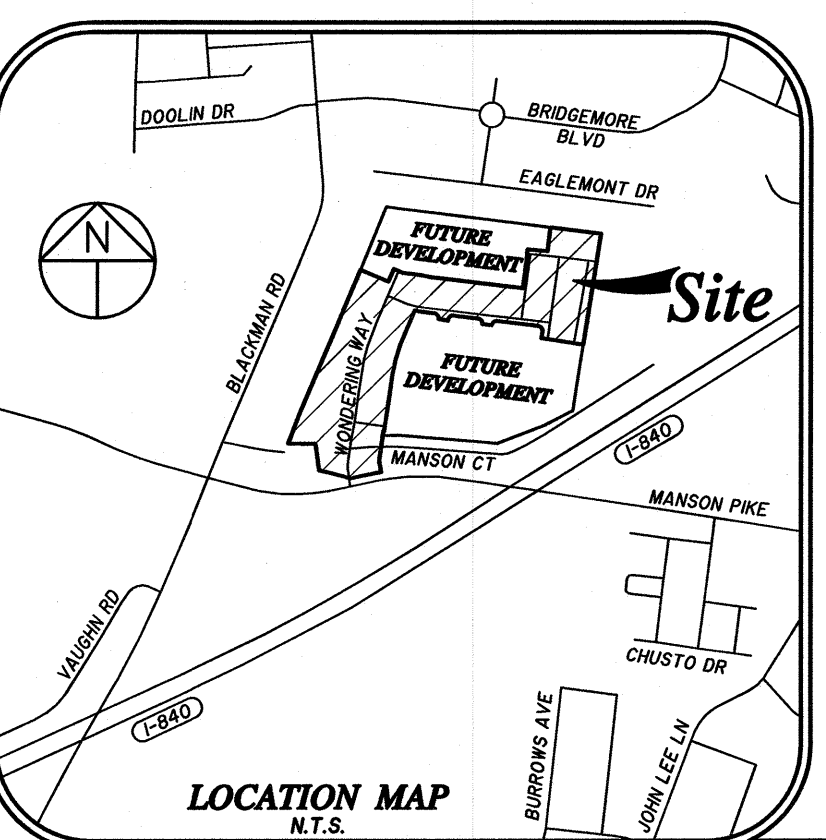
OWNER /
SOUTHCOST DPH NASHVILLE LLC
726 2ND STREET, SUITE 2A, ANNAPOLIS, MD 2403
MAP 78, PARCEL 12.00
R.B. 2422, PG. 3401
CITY ZONED: PUD
± 48,431 SQ. FT.
± 1.12 AC.

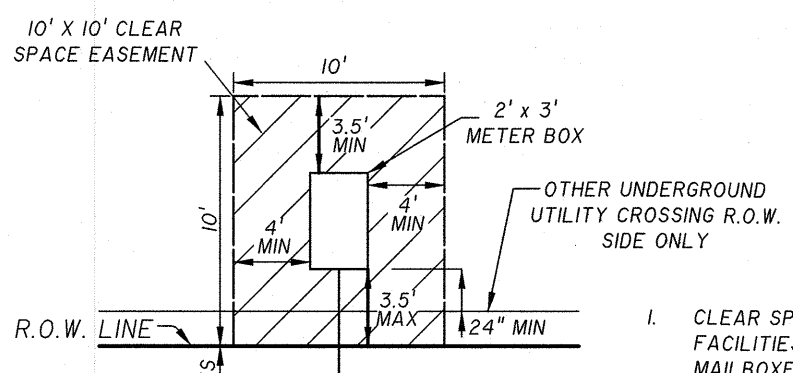
SITE DATA
TOTAL AREA = 15.80 ACRES
TOTAL AREA IN RIGHT-OF-WAY = 3.50 ACRES
TOTAL COMMON AREA/OPEN SPACE = 3.01 ACRES
NO. OF LOTS = 50
NO. OF TOWNHOME LOTS = 5
ZONING = PUD

FINAL PLAT
SECTION 1
SHELTON GROVE
SUBDIVISION

7th CIVIL DISTRICT OF RUTHERFORD COUNTY, TENNESSEE

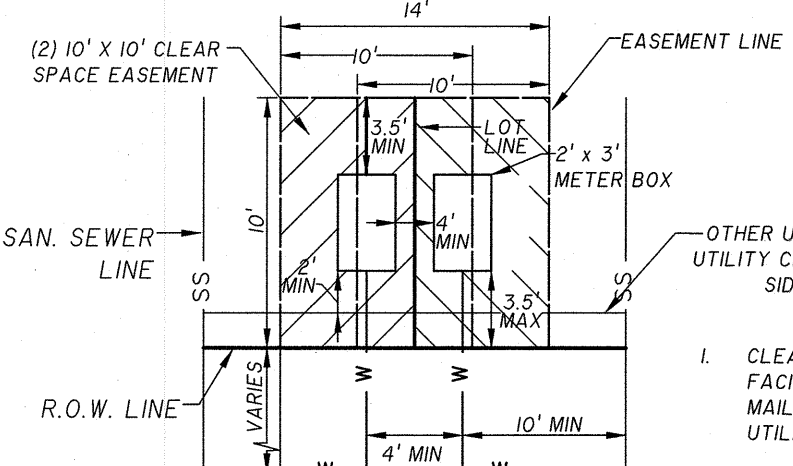
SEC, Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE
WWW.SEC-CIVIL.COM
850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
PHONE (615) 890-7901 • FAX (615) 895-2567





CONSOLIDATED UTILITY DISTRICT SINGLE FAMILY RESIDENTIAL METER CLEAR SPACE REQUIREMENT
 LOTS: 20, 31-34, 47, 60-63, 75, & 76
 N.T.S.

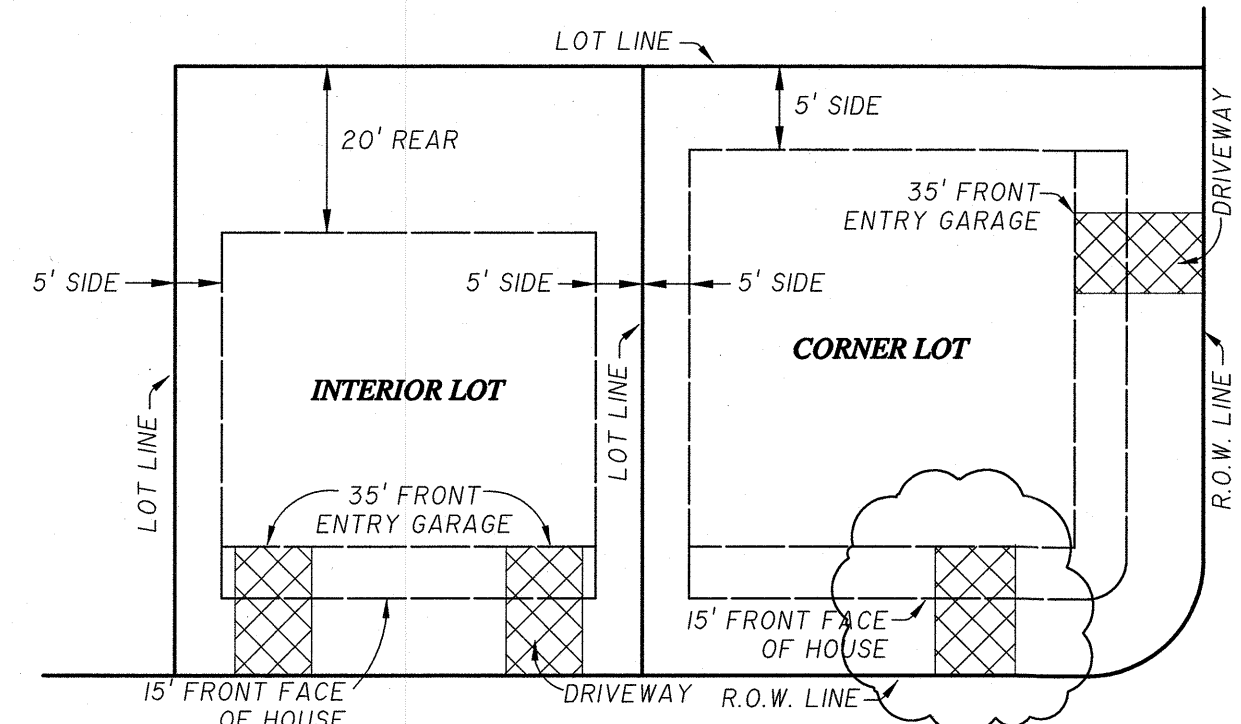
- CLEAR SPACE TO BE VOID OF DRAINAGE FACILITIES, STRUCTURES, DRIVEWAYS, MAILBOXES, SIDEWALKS, TREES, PUBLIC UTILITIES, AND UTILITY SERVICE CONNECTIONS.
- SEWER SERVICE LINE AND TREES TO BE LOCATED A MINIMUM 10 FT. AWAY FROM WATER SERVICE.
- OTHER UNDERGROUND UTILITY CROSSINGS SHALL COMPLY WITH SEPARATION REQUIREMENTS OUTLINED IN C.U.D. TECHNICAL SPECIFICATIONS.



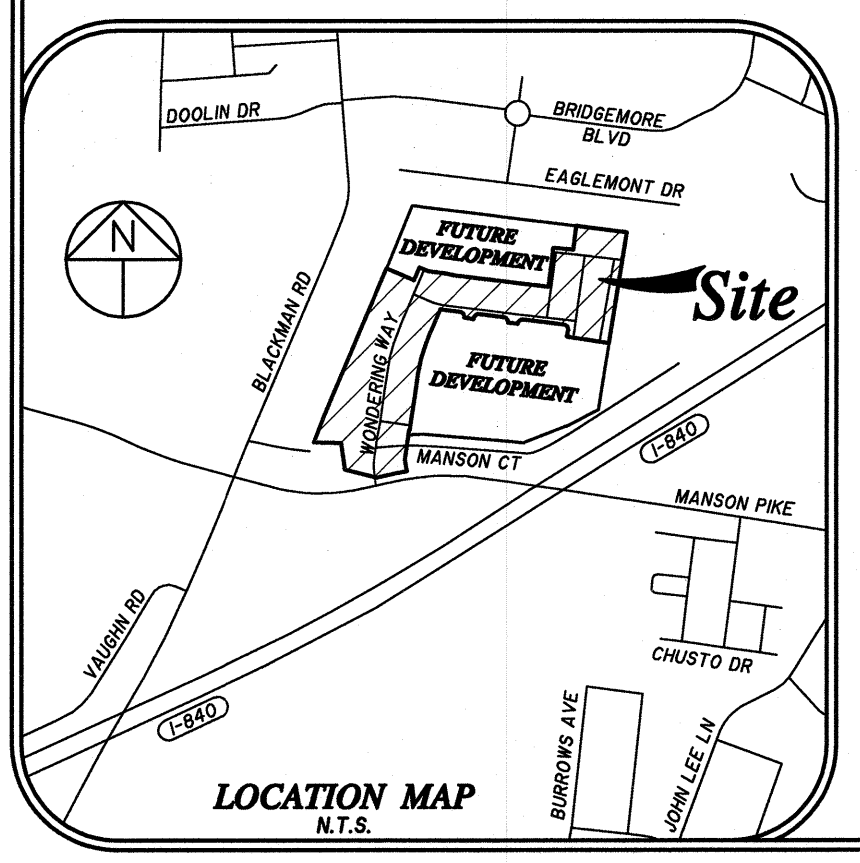
CONSOLIDATED UTILITY DISTRICT SINGLE FAMILY RESIDENTIAL METER CLEAR SPACE REQUIREMENT
 LOTS: 1-19, 21-30, 35-46, 46-59, 74, 77-80
 N.T.S.

- CLEAR SPACE TO BE VOID OF DRAINAGE FACILITIES, STRUCTURES, DRIVEWAYS, MAILBOXES, SIDEWALKS, TREES, PUBLIC UTILITIES, AND UTILITY SERVICE CONNECTIONS.
- SEWER SERVICE LINE AND TREES TO BE LOCATED A MINIMUM 10 FT. AWAY FROM WATER SERVICE.
- OTHER UNDERGROUND UTILITY CROSSINGS SHALL COMPLY WITH SEPARATION REQUIREMENTS OUTLINED IN C.U.D. TECHNICAL SPECIFICATIONS.

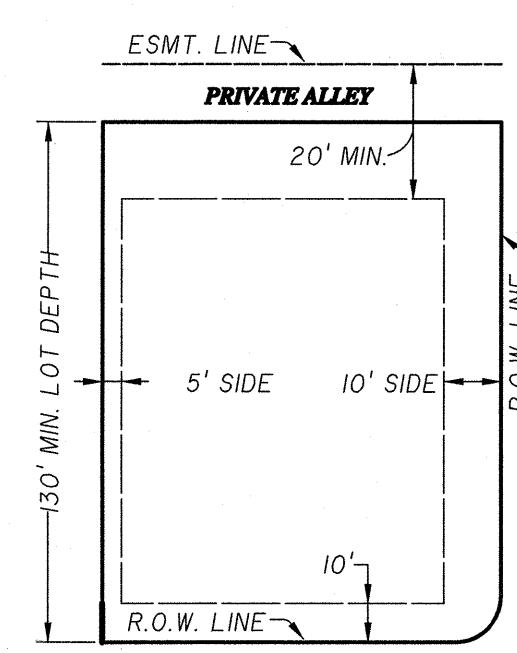
(*) MINIMUM BUILDING PAD ELEVATIONS
 MINIMUM PAD ELEVATIONS (IN FEET) FOR LOTS 1-30 ARE ESTABLISHED DUE TO LOCAL DRAINAGE.



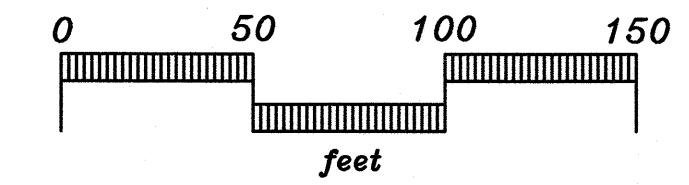
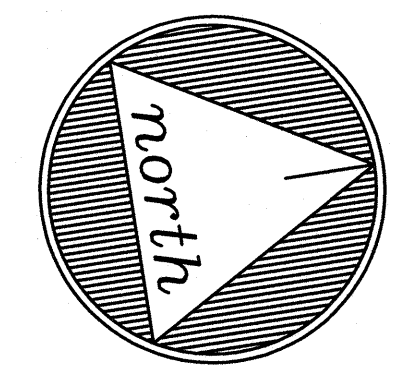
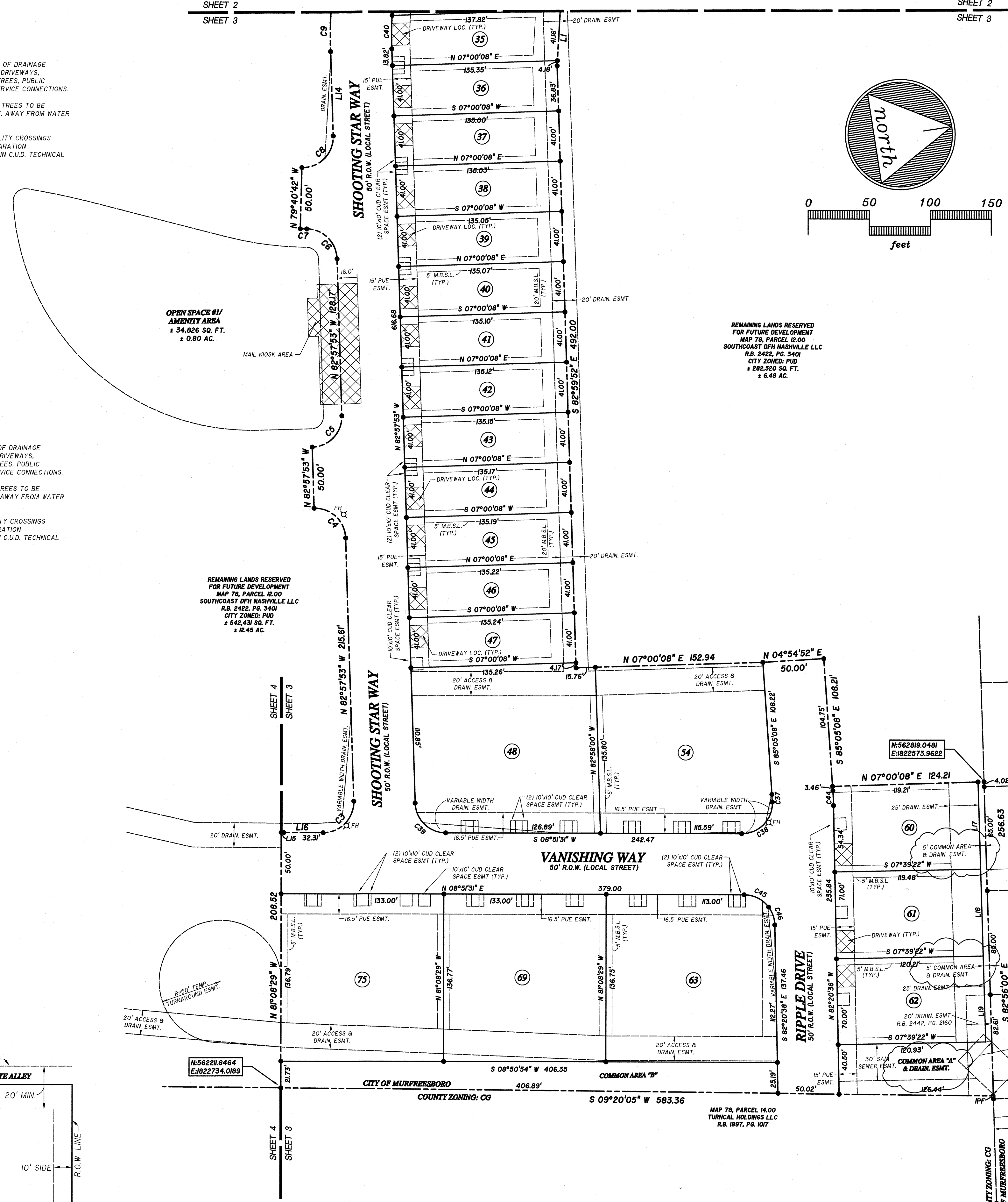
MINIMUM BUILDING SETBACK DETAIL FOR LOTS: 1-47, 60-63
 N.T.S.



MINIMUM BUILDING SETBACK DETAIL FOR TOWNHOME LOTS: 48, 54, 63, 69, & 75
 N.T.S.



SHEET 2 SHEET 3 SHEET 2 SHEET 3



LINE TABLE

LINE	BEARING	DISTANCE
L1	S 77°43'18" W	45.34
L2	S 27°47'46" E	42.29
L3	N 8°48'56" W	2.89
L4	N 1°04'33" E	8.24
L5	N 08°13'02" E	15.94
L6	N 85°03'45" E	14.94
L7	N 85°03'45" E	43.25
L8	N 85°18'09" E	31.56
L9	S 08°13'02" W	32.53
L10	S 7°43'18" W	6.88
L11	N 66°54'23" W	37.30
L12	N 66°54'23" W	38.00
L13	N 82°57'53" W	68.90
L14	N 08°48'56" E	2.04
L15	N 08°48'56" E	2.04
L16	N 08°48'56" E	2.04
L17	N 82°56'00" W	71.33
L18	S 82°56'00" E	71.00
L19	S 82°56'00" E	70.00
L20	S 84°56'35" E	64.09
L21	N 88°53'57" E	78.00

LEGEND

- IRON PIN (FOUND)
- SET IRON PIN
- CONC. MONUMENT (FOUND)
- ⊠ FIRE HYDRANT
- ▨ DRIVEWAY/MAIL KIOSK HATCH
- ▩ TDDT HATCH

AREA TABLE

LOT	± SQ. FT.	± AC.
1	5,535	0.13
2	5,535	0.13
3	5,535	0.13
4	5,535	0.13
5	5,535	0.13
6	5,535	0.13
7	5,535	0.13
8	5,535	0.13
9	5,747	0.13
10	5,697	0.13
11	5,587	0.13
12	7,070	0.16
13	7,342	0.17
14	7,076	0.16
15	6,807	0.16
16	6,712	0.15
20	9,856	0.23
21	5,535	0.13
22	5,535	0.13
23	5,535	0.13
24	5,907	0.14
25	6,182	0.14
26	6,182	0.14
27	6,182	0.14
28	6,182	0.14
29	6,025	0.14
30	5,535	0.13
31	5,535	0.13
32	8,000	0.18
33	8,077	0.19
34	5,543	0.13
35	5,513	0.13
36	5,535	0.13
37	5,536	0.13
38	5,537	0.13
39	5,536	0.13
40	5,539	0.13
41	5,540	0.13
42	5,540	0.13
43	5,541	0.13
44	5,542	0.13
45	5,543	0.13
46	5,544	0.13
47	5,545	0.13
48	20,578	0.47
54	19,319	0.44
60	8,422	0.19
61	8,509	0.20
62	8,412	0.19
63	18,867	0.43
69	18,169	0.42
75	18,192	0.42

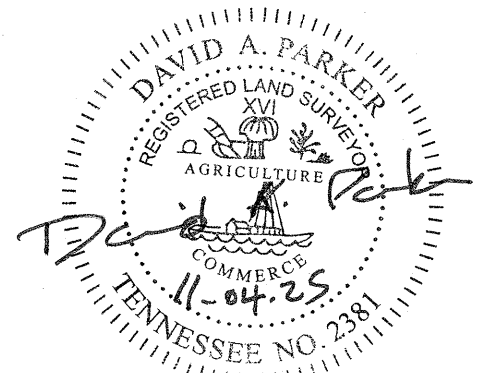
CURVE TABLE

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	1390.00	2°15'45"	54.89	S 79°38'17" W	54.89
C2	20774.25	0°00'35"	59.96	S 77°52'44" W	59.96
C3	25.00	9°49'24"	40.07	N 37°03'1" W	35.91
C4	25.00	9°00'00"	39.27	S 58°02'07" W	35.36
C5	25.00	9°00'00"	39.27	N 37°03'1" W	35.36
C6	25.00	9°49'24"	38.56	S 58°02'07" W	34.70
C7	258.00	1°07'28"	5.23	S 09°44'04" W	5.23
C8	25.00	9°49'24"	40.70	N 36°19'18" W	36.35
C9	360.00	9°00'00"	33.59	N 80°21'00" W	33.54
C10	20774.25	0°00'23"	2.96	S 77°47'31" W	2.96
C11	25.00	88°07'07"	37.58	N 59°08'00" W	34.14
C12	1027.78	3°42'25"	61.91	N 85°43'35" E	61.91
C13	294.50	7°45'25"	65.57	N 09°51'03" E	65.43
C14	20.00	78°50'48"	26.82	N 48°58'23" E	24.86
C15	1027.78	3°42'25"	61.91	N 85°43'35" E	61.91
C16	147.78	3°37'51"	72.65	S 86°56'27" W	72.65
C17	20.00	102°10'49"	35.67	N 43°18'58" W	30.19
C18	25.00	9°00'00"	39.27	N 59°08'00" W	35.91
C19	25.00	9°49'24"	39.27	N 02°47'23" E	35.91
C20	345.50	14°42'29"	88.74	N 00°54'19" E	88.49
C21	1025.00	0°42'30"	13.80	N 09°51'03" E	13.80
C22	1025.00	2°17'51"	41.03	N 10°40'1" E	41.03
C23	1025.00	2°17'45"	41.06	N 10°40'1" E	41.05
C24	1025.00	0°42'30"	13.80	N 09°51'03" E	13.80
C25	1025.00	2°17'51"	41.03	N 10°40'1" E	41.03
C26	1025.00	2°17'45"	41.06	N 10°40'1" E	41.05
C27	1025.00	0°42'30"	13.80	N 09°51'03" E	13.80
C28	25.00	9°00'00"	39.27	N 59°08'00" W	35.91
C29	978.00	0°36'47"	10.43	N 08°18'22" E	10.43
C30	978.00	2°56'54"	49.04	N 10°18'16" E	49.03
C31	978.00	2°56'54"	49.04	N 09°09'1" E	49.03
C32	978.00	2°56'54"	49.04	N 18°02'05" E	49.03
C33	978.00	2°56'54"	49.04	N 18°02'05" E	49.03
C34	978.00	2°56'54"	49.04	N 18°02'05" E	49.03
C35	28.00	90°00'00"	39.27	N 68°05'31" E	35.36
C36	360.00	9°00'00"	33.59	S 72°25'16" E	73.04
C37	205.00	7°45'25"	62.65	S 84°15'05" E	62.65
C38	25.00	9°49'24"	40.23	S 37°14'19" E	36.03
C39	25.00	88°10'36"	38.47	S 58°56'49" W	34.79
C40	325.00	4°47'46"	27.21	N 80°53'35" W	27.20
C41	325.00	7°18'47"	41.48	N 74°30'41" W	41.45
C42	325.00	7°18'47"	41.48	N 68°56'20" W	22.39
C43	25.00	90°00'00"	39.27	N 59°08'00" W	35.91
C44	25.00	9°49'24"	39.27	N 83°42'63" W	12.20
C45	25.00	38°40'48"	15.57	N 35°25'02" E	22.36
C46	25.00	38°40'48"	15.57	N 78°48'58" E	15.32

COMMON/OPEN SPACE AREA TABLE

NAME	± SQ. FT.	± AC.
COMMON AREA "A" & DRAIN ESMT.	6,404	0.15
COMMON AREA "B"	9,538	0.22
MAIL KIOSK	3488	0.08

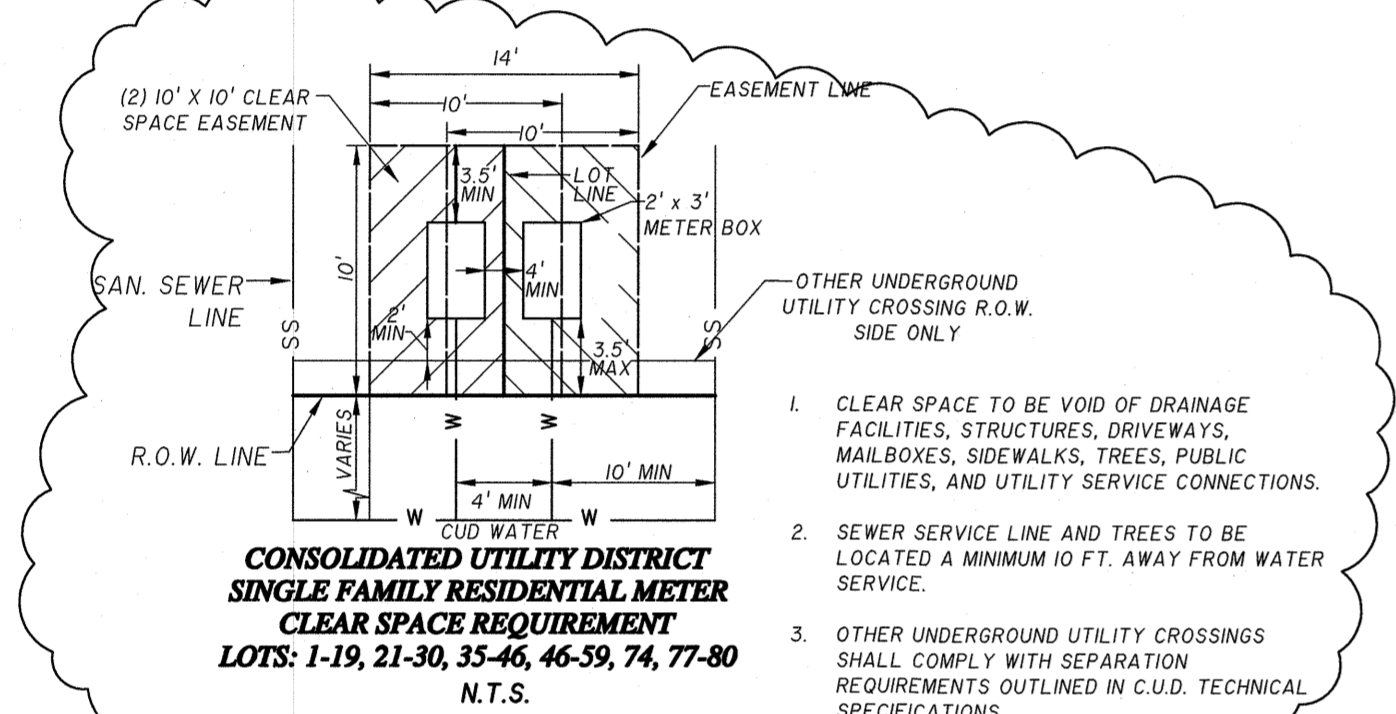
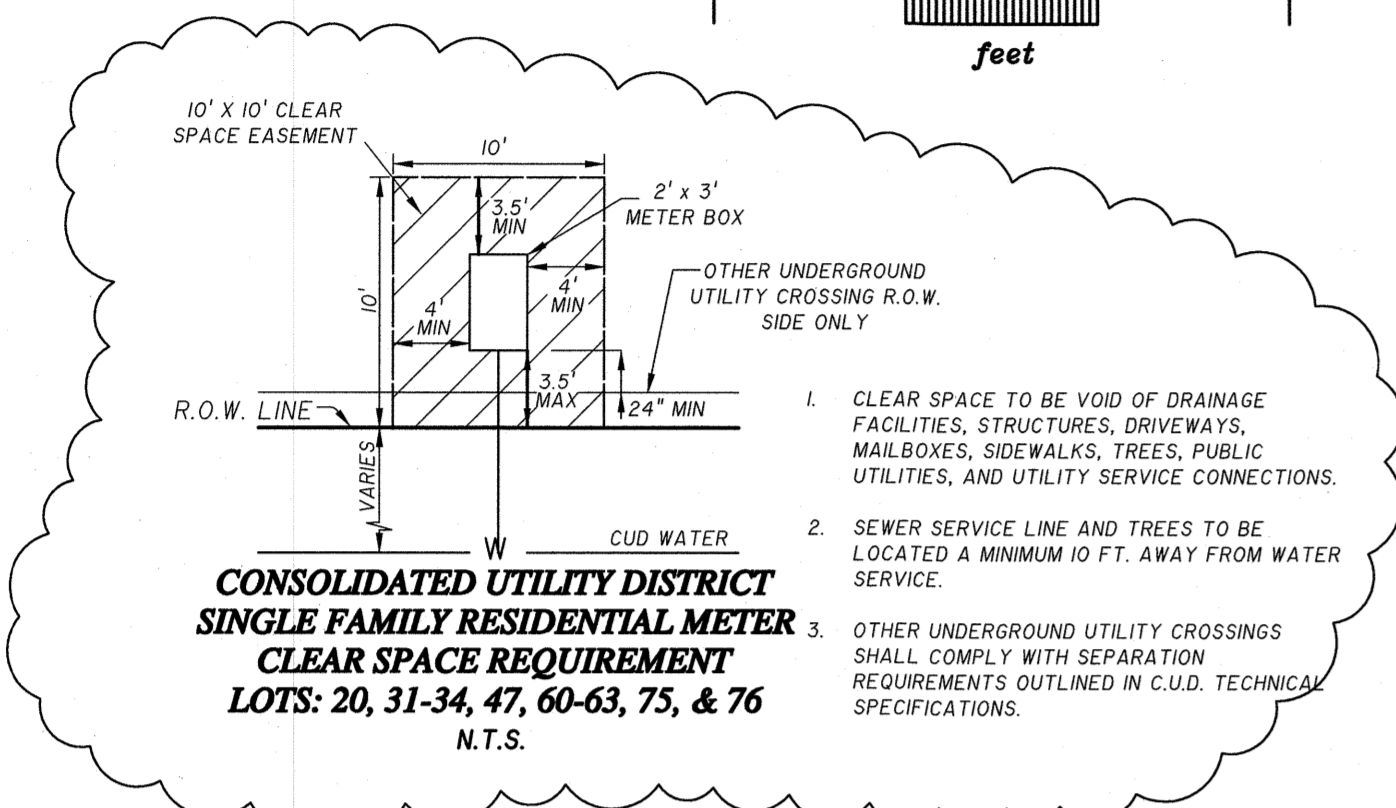
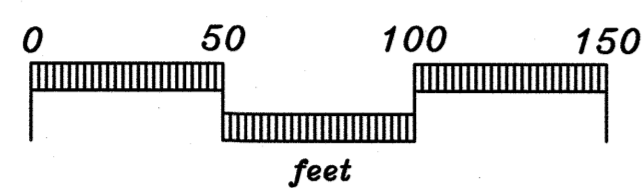
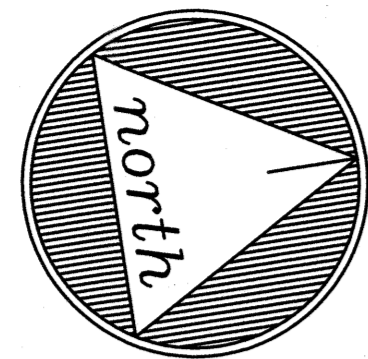
OWNER I
 SOUTHCOAST DFH NASHVILLE LLC
 726 2ND STREET, SUITE 2A, ANNAPOLIS, MD 21403
 MAP 78, PARCEL 12.00
 R.B. 2422, PG. 3401



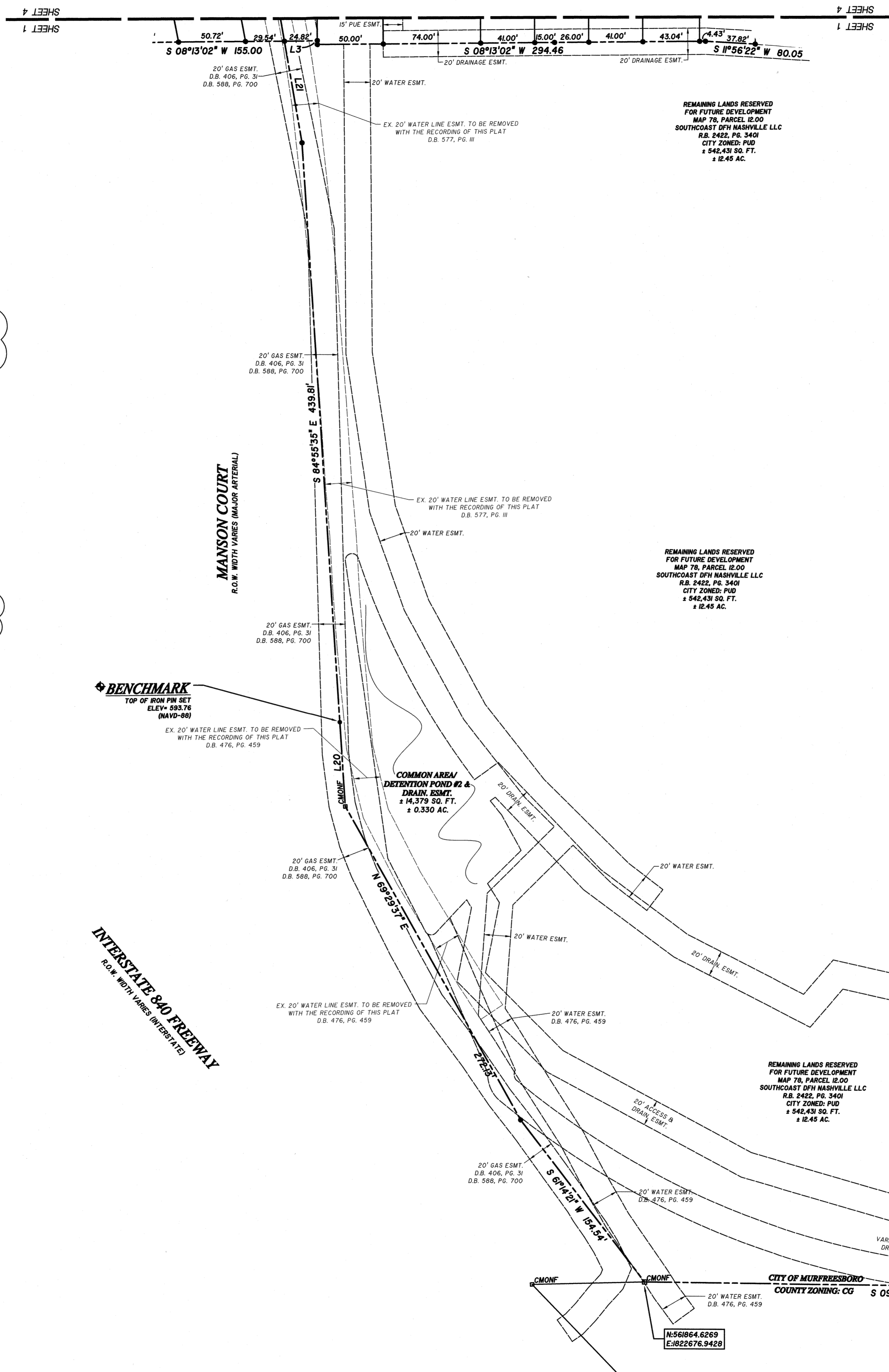
SITE DATA
 TOTAL AREA = 15.80 ACRES
 TOTAL COMMON AREA/OPEN SPACE = 3.01 ACRES
 NO. OF LOTS = 50
 NO. OF TOWNHOME LOTS = 5
 ZONING = PUD

FINAL PLAT
SECTION I
SHELTON GROVE
SUBDIVISION
 7th CIVIL DISTRICT OF RUTHERFORD COUNTY, TENNESSEE

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 ENGINEERING • SURVEYING • LAND PLANNING
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 WWW.SEC-CIVIL.COM
 850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 890-7901 • FAX: (615) 893-2567



(*) MINIMUM BUILDING PAD ELEVATIONS
MINIMUM PAD ELEVATIONS (MPE'S) FOR LOTS 1-30 ARE
ESTABLISHED DUE TO LOCAL DRAINAGE.



LINE TABLE

LINK	BEARING	DISTANCE
L1	S 77°46'18" E	45.34
L2	S 24°47'46" W	42.29
L3	N 0°46'58" W	2.99
L4	N 0°43'59" E	8.22
L5	N 08°13'02" E	15.94
L6	N 05°03'03" E	14.34
L7	N 05°03'45" E	43.25
L8	N 85°18'09" E	31.56
L9	N 82°18'09" E	5.77
L10	S 09°13'02" W	32.55
L11	S 1°43'18" W	6.89
L12	N 86°54'23" W	37.30
L13	N 86°54'23" W	36.01
L14	N 82°57'53" W	66.80
L15	N 08°18'39" E	2.04
L16	N 08°18'39" E	34.35
L17	N 82°56'00" W	7.33
L18	S 82°56'00" E	71.00
L19	S 82°56'00" E	70.00
L20	S 84°55'55" E	64.09
L21	N 88°59'57" E	78.00

CURVE TABLE

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	1890.00	2°15'45"	54.89	S 79°38'17" W	54.89
C2	20774.28	0°09'55"	55.96	S 77°52'44" W	55.96
C3	25.00	90°00'00"	40.07	N 37°03'11" W	35.36
C4	25.00	90°00'00"	39.27	S 82°02'07" W	35.36
C5	25.00	90°00'00"	39.27	N 37°57'53" W	35.36
C6	25.00	0°43'17"	36.35	S 83°05'59" W	32.70
C7	255.00	1°10'28"	5.23	S 09°44'04" W	5.23
C8	25.00	89°17'10"	40.70	N 36°19'18" W	35.35
C9	350.00	3°04'41"	33.35	N 80°27'00" W	33.34
C10	20774.28	0°00'29"	2.96	S 77°47'31" W	2.96
C11	25.00	86°07'07"	37.58	N 59°08'00" W	34.44
C12	27.00	2°07'07"	1.00	N 02°47'59" W	1.00
C13	294.50	1°45'52"	65.57	N 0°51'03" E	65.43
C14	20.00	76°50'42"	26.82	N 48°58'23" E	24.86
C15	1037.78	3°42'28"	61.13	N 86°43'36" E	61.12
C16	141.78	3°37'37"	72.66	S 86°56'27" W	72.65
C17	20.00	102°10'49"	35.67	N 43°18'58" W	31.13
C18	25.00	90°00'00"	39.27	N 33°15'02" E	35.36
C19	25.00	4°32'53"	1.98	N 07°42'00" E	1.98
C20	345.50	1°42'57"	68.74	N 00°54'19" E	68.49
C21	1025.00	0°48'20"	13.49	N 08°56'12" E	13.49
C22	1025.00	2°17'47"	41.03	N 10°10'18" E	41.03
C23	1025.00	2°17'42"	41.06	N 12°25'50" E	41.05
C24	1025.00	2°56'00"	52.47	N 18°02'31" E	52.47
C25	1025.00	2°56'00"	52.73	N 17°59'06" E	52.73
C26	1025.00	2°45'18"	49.28	N 20°00'09" E	49.28
C27	1025.00	0°32'49"	15.75	N 22°39'13" E	15.75
C28	25.00	90°00'00"	39.27	N 36°46'10" W	35.36
C29	375.00	0°36'47"	10.43	N 08°32'26" E	10.43
C30	375.00	2°52'54"	49.04	N 10°16'16" E	49.03
C31	375.00	2°52'54"	49.04	N 18°03'19" E	49.03
C32	375.00	2°52'54"	49.04	N 18°02'09" E	49.03
C33	375.00	2°52'54"	49.04	N 18°54'59" E	49.03
C34	375.00	2°44'17"	45.56	N 24°33'28" E	45.56
C35	25.00	90°00'00"	39.27	N 68°05'37" E	35.36
C36	380.00	1°01'45"	73.15	S 72°25'16" E	73.04
C37	250.00	7°15'02"	63.25	S 84°12'50" E	63.25
C38	25.00	52°1'58"	40.23	S 37°14'18" E	36.03
C39	25.00	88°10'56"	38.47	S 82°56'49" W	34.79
C40	355.00	4°47'48"	27.21	N 80°55'59" W	27.20
C41	355.00	7°48'47"	41.48	N 74°50'41" W	41.48
C42	325.00	3°56'58"	22.40	N 68°22'50" W	22.39
C43	25.00	90°00'00"	39.27	N 8°54'23" W	35.36
C44	255.00	2°44'17"	45.56	N 83°42'53" W	42.20
C45	25.00	53°07'03"	23.18	N 35°25'02" E	22.36
C46	25.00	35°40'48"	15.37	N 79°48'58" E	15.32

LEGEND

- IRON PIN (FOUND)
- SET IRON PIN
- CONC. MONUMENT (FOUND)
- FIRE HYDRANT
- ▨ DRIVEWAY / MAIL KIOSK HATCH
- ▨ TROT HATCH

AREA TABLE

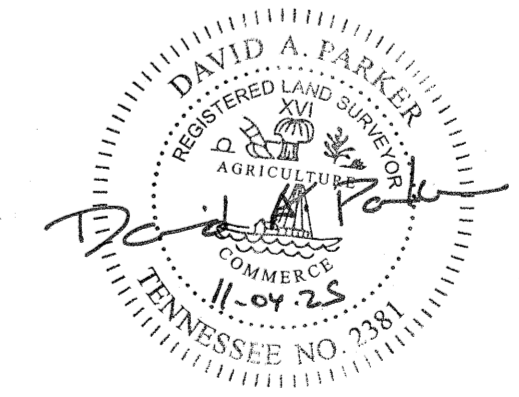
LOT	± SQ. FT.	± AC.
1	5,535	0.13
2	5,535	0.13
3	5,535	0.13
4	5,535	0.13
5	5,535	0.13
6	5,535	0.13
7	5,535	0.13
8	5,535	0.13
9	5,747	0.13
10	5,687	0.13
11	5,587	0.13
12	7,070	0.16
13	7,342	0.17
14	7,076	0.16
15	6,807	0.16
16	6,712	0.15
20	9,856	0.23
21	5,535	0.13
22	5,535	0.13
23	5,535	0.13
24	5,907	0.14
25	6,182	0.14
26	6,188	0.14
27	6,182	0.14
28	6,182	0.14
29	6,025	0.14
30	5,535	0.13
31	5,535	0.13
32	6,000	0.16
33	6,077	0.19
34	5,543	0.13
35	5,613	0.13
36	5,535	0.13
37	5,536	0.13
38	5,537	0.13
39	5,538	0.13
40	5,539	0.13
41	5,540	0.13
42	5,540	0.13
43	5,541	0.13
44	5,542	0.13
45	5,543	0.13
46	5,544	0.13
47	5,545	0.13
48	20,578	0.47
54	19,159	0.44
60	8,422	0.19
61	8,509	0.20
62	8,412	0.19
63	18,867	0.43
69	18,189	0.42
75	18,182	0.42

COMMON OPEN SPACE AREA TABLE

NAME	± SQ. FT.	± AC.
COMMON AREA "A" & DRAIN. ESMT.	6,404	0.15
COMMON AREA "B"	9,538	0.22
MAIL KIOSK	3,488	0.08

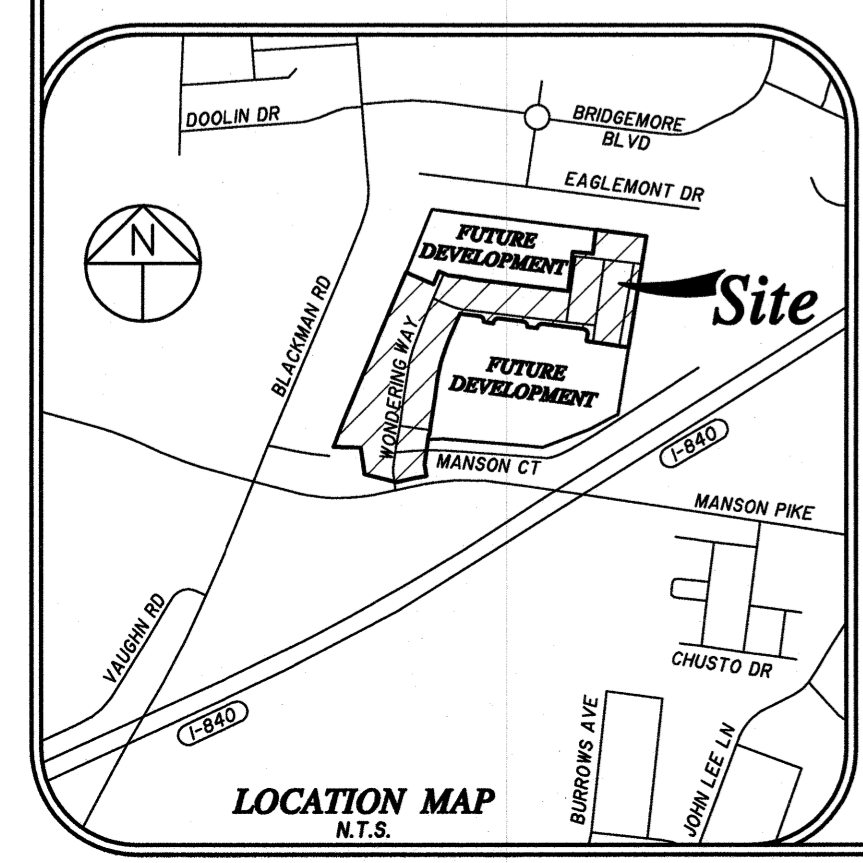
OWNER I
SOUTHCOAST DPH NASHVILLE LLC
726 2ND STREET, SUITE 2A, ANNAPOLIS, MD 2403
MAP 78, PARCEL 12.00
R.B. 2422, PG. 3401

SITE DATA
TOTAL AREA = 15.80 ACRES
TOTAL AREA IN RIGHT-OF-WAY = 3.50 ACRES
TOTAL COMMON AREA/OPEN SPACE = 3.01 ACRES
NO. OF LOTS = 50
NO. OF TOWNHOME LOTS = 5
ZONING = PUD



FINAL PLAT
SECTION I
SHELTON GROVE
SUBDIVISION
7th CIVIL DISTRICT OF RUTHERFORD COUNTY, TENNESSEE

SEC, Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE
850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
PHONE (615) 890-7901 • FAX (615) 895-2567



MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

November 19, 2025

PROJECT PLANNER: Marc Shackelford-Rowell

- 5.g. Sullivan’s Retreat Townhomes [2025-2092] horizontal property regime plat for 80 units on a 12.11-acre lot zoned PRD located along, Cornerstone Development, LLC developer. (Project Planner: Marc Shackelford-Rowell)**

This is a horizontal property regime plat for Sullivan’s Retreat Townhomes. The purpose of this plat is to create 80 townhomes on one lot and to delineate common areas and limited common elements. Staff recommends that any approval of this final plat be made subject to all staff comments.



Staff Comments

Development Services – Planning

Marc Shackelford-Rowell, 615.893.6441, msrowell@murfreesborotn.gov

1. Please include a copy of CCR's with application.
2. Update the site map to include more street names for better clarity of site location.
3. Please update the PUE labels throughout the plat.
4. Final plat must be recorded before this plat is recorded.
5. Are the easements being created with this plat or the companion plat?
6. Please update general note 10 to reference MTEMC instead of Murfreesboro Electric Company.
7. Unit numbers may need to be updated based on addressing plan.
8. The lot acreage on the plat differs from what was listed on the application. Please update which one is correct.

Development Services – Engineering

Katie Knoel 615.893.6441 knoel@murfreesborotn.gov

1. Plat to record the right of way must be recorded prior to the recording of this plat.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750 tstevens@murfreesborotn.gov

1. No Comments

Consolidated Utility District

Will Steele, 615.225.3313, wsteele@ cudrc.com

1. No comments.

Middle Tennessee Electric Membership Corporation

Chris Barns, 615.494.0428, murfreesborocity.engineering@mtemc.com

1. No comments.

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1. No comment.

Murfreesboro Water Resources Department

George Reagan, 615-848-3200, greagan@murfreesborotn.gov

1. Submit Final Plat to MWRD for review. Prior to sending, field-locate, survey, and include on the plat any newly installed and/or existing water/sewer/repurified water mains, service stubs, meters, and cleanouts (appurtenances). This plat will be overlaid into GIS to check easements and whether the appurtenances are within the easements.
2. Regarding comment 1) above, pay careful attention to location of existing public sewer through the plat extents, and ensure easements line up with this sewer accordingly. Relocations/changes to public easements located outside of this plat's extents cannot be accomplished with this plat, and will need to proceed through a separate recording/approval process. New/relocated easements through public right-of-way are not needed. Please remove these R-O-W 'easements' from the plat, to avoid confusion. Please also remove proposed easement changes outside of this plat's extents from the plat, unless the changes have already been recorded. If recorded, please show these altered easements and the location of their recording.
3. Not all existing sewer easements currently running through this platted area 30-foot wide. Please update all existing easements reference and dimensions accordingly. Where existing easements are not 30-foot minimum, please dedicate additional public sewer easement to meet this width (now are current minimum sewer easement width). This should result in at least a 15-foot offset in all directions from the center of the sewer pipe.
4. Add following note to the plat: "Property is located within the Overall Creek Sewer Assessment District."
5. Since this subdivision requires new public sewer main extensions to serve it, posting surety will likely be required to approve/record this plat. Surety amounts depend on progress of this public sewer construction. A Notice To Proceed (NTP) for this sewer construction must be issued for MWRD's plat review to move forward

Informational and Procedural Comments

Development Services – Planning

Marc Shackelford-Rowell, 615.893.6441, msrowell@murfreesborotn.gov

1. Per the engineer’s certification on this plan, this property lies in Zone AE & Zone X, inside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (05/09/2023) for the City of Murfreesboro.
2. This plan is affected by the City’s Major Transportation Plan. There are proposed improvements along Franklin to a 5-lane road. There are also planned improvements along Brinkley that would increase it from a 3-lane road to a 5-lane road.
3. In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers’ installation of conduit, pedestals or vaults, and laterals referred to as “equipment” to be provided at such providers’ expense.

Development Services – Engineering

Katie Knoel 615.893.6441 knoel@murfreesborotn.gov

1. Prior to submitting the final plat to the Planning Department for signatures, submit an Engineer’s Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
2. Prior to submitting the final plat to the Planning Department for signatures, a subdivision surety for roads and drainage must be submitted in accordance with the City’s subdivision regulations.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

1. The Planning Commission does not approve signage. Any signage that is shown on exterior building elevations, renderings, or site plans are not approved when those plans are reviewed as a function of the site plan and plat review processes.
2. Sign permits and reviews are a separate approval process, please reach out to Sign Administrator, Teresa Stevens at tstevens@murfreesborotn.gov for additional information.
3. Sign reviews can include temporary signs, attached signs, and ground signs. Strip lighting that is placed under an eave and outline lighting placed on the exterior of a building or canopy may be considered signs and require a separate review as well.
4. For proposed flagpole(s), the flagpole(s) shall be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for the flagpole(s) are established in the Sign Ordinance.
5. Any ground sign or freestanding wall sign (monument sign) to be located within a public utility or drainage easement shall have a completed and recorded City of Murfreesboro revocable license agreement with easement holders.
6. Any site and building signage installed prior to issuance of Certificate of Occupancy must have a sign permit issued. Any signs installed without a sign permit will delay your Certificate of Occupancy.
7. Proposed site signage to be installed shall be shown on utility and site plans. Proposed building signage shall be shown on elevation drawings.

Consolidated Utility District

Will Steele, 615.225.3313, wsteele@ cudrc.com

1. Submit plat directly to CUDengineering@cudrc.com for further review and comment.

Middle Tennessee Electric Membership Corporation

Chris Barns, 615.494.0428, murfreesborocity.engineering@mtemc.com

1. No Comments

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1. No Comments

Murfreesboro Water Resources Department

George Reagan, 615.848.3200, greagan@murfreesborotn.gov

1. Submit Final Plat to MWRD for review. Prior to sending, field-locate, survey, and include on the plat any newly installed and/or existing water/sewer/repurified water mains, service stubs, meters, and cleanouts (appurtenances). This plat will be overlaid into GIS to check easements and whether the appurtenances are within the easements.

*** MINIMUM FINISHED FLOOR ELEVATION**

LOT NOS.	FEMA 100 YR FLOOD	MIN. BLDG. PAD ELEV.	MIN. FIN. FLOOR ELEV.
3	595.0	595.0	595.0

DEVELOPMENT OR MODIFICATION OF THE LAND BY OWNERS, DEVELOPERS, OR OTHER PARTIES WITHIN THE FLOODWAY DELINEATED ON THE PLAT IS LIMITED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL FLOOD INSURANCE PROGRAM AND DEVELOPMENT WITHIN THE AREAS OF SPECIAL FLOOD HAZARD SHALL BE PROTECTED IN SUCH A MANNER THAT ANY STRUCTURE SHALL BE PROTECTED AGAINST FLOOD DAMAGE TO AT LEAST THE REGULATORY FLOOD ELEVATION OF 000.0 OR AS SHOWN ON THE TABLE ABOVE.

MAP 093 PARCEL 25.00
VETERANS PLAZA LLC.
R.B.1804, PG. 2316
(R.O.R.C., TN)
ZONED: CF

CAROLINA COURT
LOCAL STREET (50' R.O.W.)

OWNER
CORNERSTONE DEVELOPMENT, LLC
206 NOAH DRIVE, STE. 100
FRANKLIN, TN 37064
CONTACT: HARRY MINGE

DEED REFERENCE
MAP 93, PARCELS 27.02 & 27.04
R.B.K. 2189, PG. 1919
SULLIVAN'S RETREAT - LOT 5
P.B.K. _____, PG. _____

SITE DATA
TOTAL AREA = 12.1± ACRES
NO. OF UNITS = 80
LOT 5 AREA = 12.1± ACRES
ZONING = PRD

CURVE DATA

CURVE	DELTA	RADIUS	ARC LENGTH	CRD BEARING	CRD LENGTH
C1	100°35'21"	55.00'	96.56'	N 3°31'15" W	84.63'

LEGEND

- IRON PIN (FOUND)
- IRON PIN SET (NEW)
- CONC. MONUMENT (FOUND)
- ◇ FIRE HYDRANT
- CUD 15' X 15' CUD CLEAR SPACE ESMT. (TYP)
PLAT BOOK 51, PG. 259
- CUD# 15' X 15' CUD CLEAR SPACE ESMT.
PLAT BOOK 51, PG. 259
- CUD CONSOLIDATED UTILITY DISTRICT
- ESMT. EASEMENT
- ELEC. ESMT. ELECTRIC EASEMENT
- M.B.S.L. MINIMUM BUILDING SETBACK LINE
- MWRD MURFREESBORO WATER RESOURCES DEPARTMENT
- MTEMC MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

LINE DATA

LINE	BEARING	DISTANCE
L1	S 8°48'55" E	88.99'
L2	N 0°02'47" E	120.90'
L3	S 0°07'48" W	45.26'
L4	S 2°02'02" W	26.45'
L5	S 2°43'57" W	34.32'
L6	S 3°03'58" W	75.72'
L7	S 3°58'23" W	66.49'
L8	S 2°59'39" W	34.02'
L9	S 0°19'42" E	23.45'
L10	S 1°45'57" W	49.32'
L11	S 2°15'09" W	82.60'
L12	S 8°10'51" W	95.04'
L13	N 0°57'21" E	79.04'
L14	N 54°57'21" E	11.31'
L15	N 0°02'47" E	45.31'
L16	N 0°25'42" E	45.35'
L17	N 0°28'59" W	34.22'
L18	N 0°37'58" W	34.22'
L19	N 54°57'21" E	27.73'
L20	N 0°37'58" W	35.92'
L21	N 78°58'50" W	77.79'

CERTIFICATE OF OWNERSHIP AND DEDICATION
I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISHING THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: _____
RECORD BOOK 2189, PAGE 1919
JOEY MINGE (MEMBER)
CORNERSTONE DEVELOPMENT, LLC

CERTIFICATE OF APPROVAL FOR WATER SYSTEMS LOCATED IN THE WATER SERVICE JURISDICTION OF CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY

I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS, OR THE SPECIFICATIONS OF THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY IF THE ARE MORE STRINGENT, AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY TO ASSURE COMPLETION OF SAME.

DATE: _____
CONSOLIDATED UTILITY DISTRICT
OF RUTHERFORD COUNTY

CERTIFICATE OF APPROVAL ELECTRIC POWER

MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTEMC) WILL PROVIDE ELECTRIC SERVICE TO THE SUBJECT PROPERTY ACCORDING TO THE NORMAL OPERATING PRACTICES OF MTEMC AS DEFINED IN THE RULES AND REGULATIONS, BY-LAWS, POLICY BULLETINS AND OPERATIONAL BULLETINS OF MTEMC, AND IN ACCORDANCE WITH THE PLAT APPROVAL CHECKLIST, TREE PLANTING GUIDELINES AND OTHER REGULATIONS CONTAINED ON THE MTEMC WEB SITE AT WWW.MTEMC.COM COLLECTIVELY THE "REQUIREMENTS". NO ELECTRIC SERVICE WILL BE PROVIDED UNTIL MTEMC'S REQUIREMENTS HAVE BEEN MET AND APPROVED IN WRITING BY AN AUTHORIZED REPRESENTATIVE OF MTEMC. ANY APPROVAL IS, AT ALL TIMES, CONTINGENT UPON CONTINUING COMPLIANCE WITH MTEMC'S REQUIREMENTS.

DATE: _____
AUTHORIZED MTEMC OFFICIAL

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND THE REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION DESIGN CRITERIA FOR SEWAGE WORKS; (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME; OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE: _____
MURFREESBORO WATER RESOURCES OFFICIAL

CERTIFICATE OF APPROVAL FOR RECORDINGS

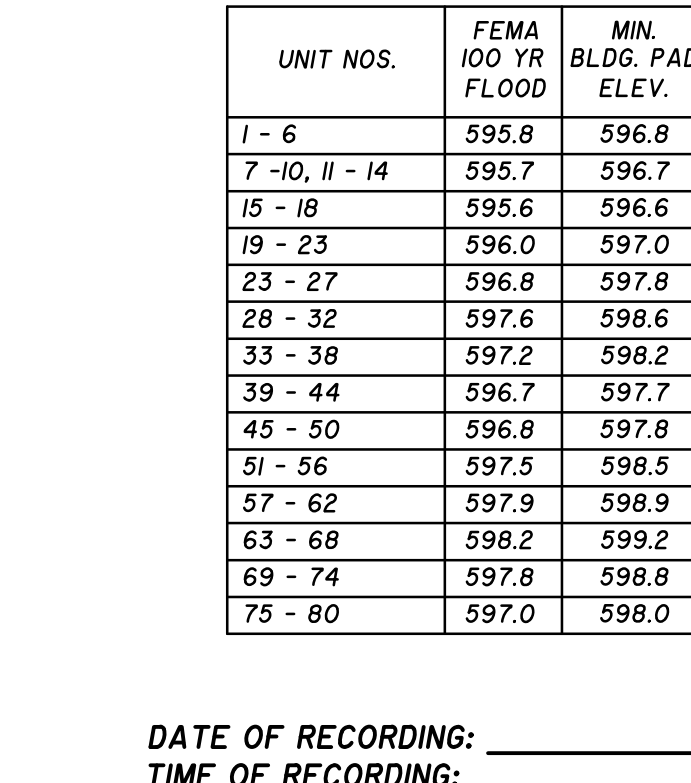
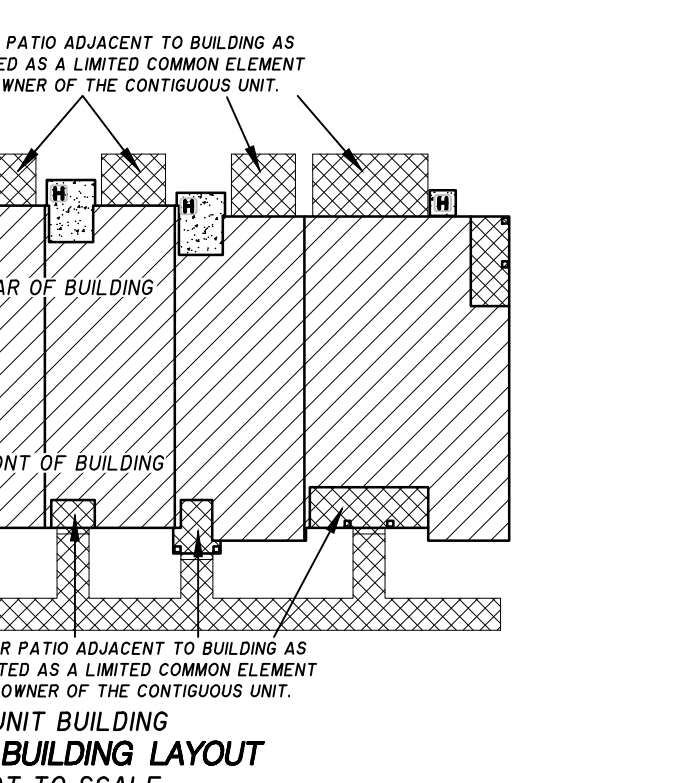
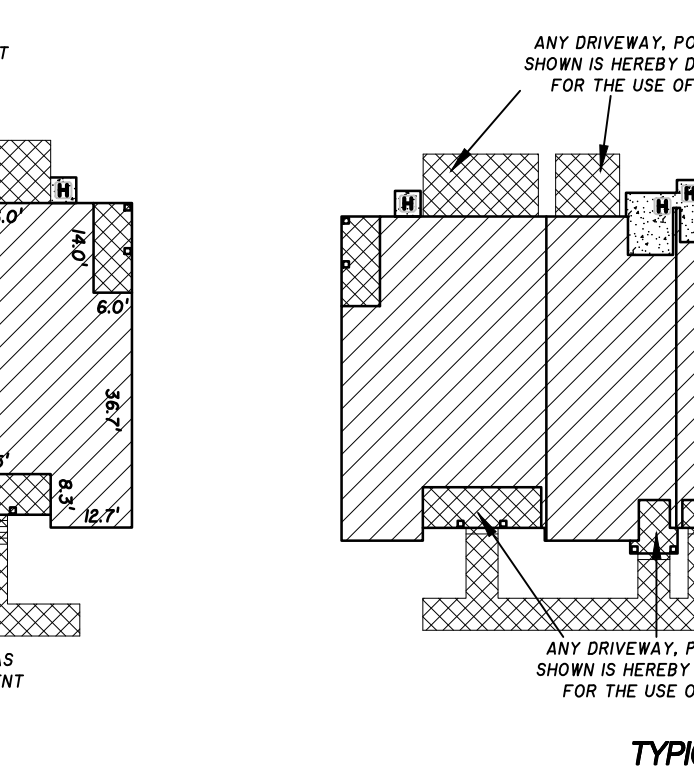
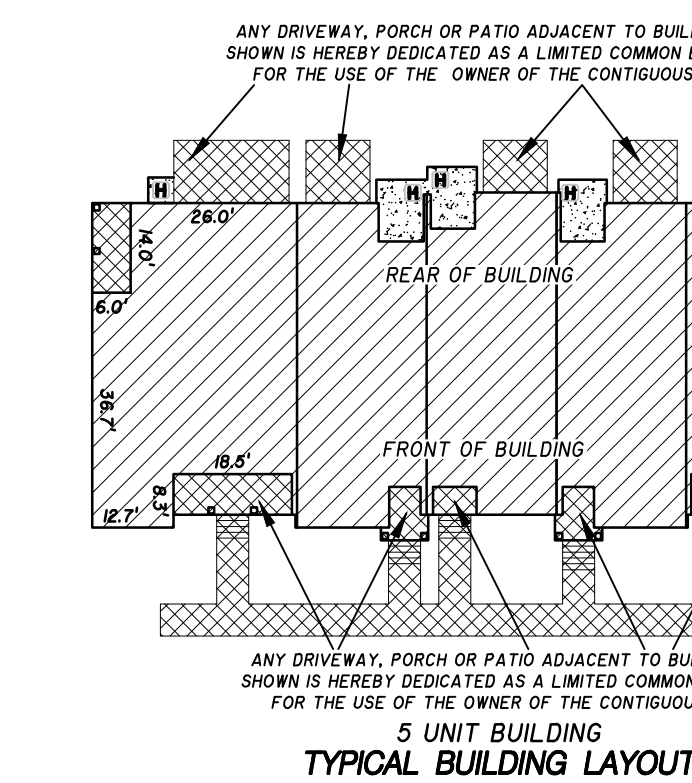
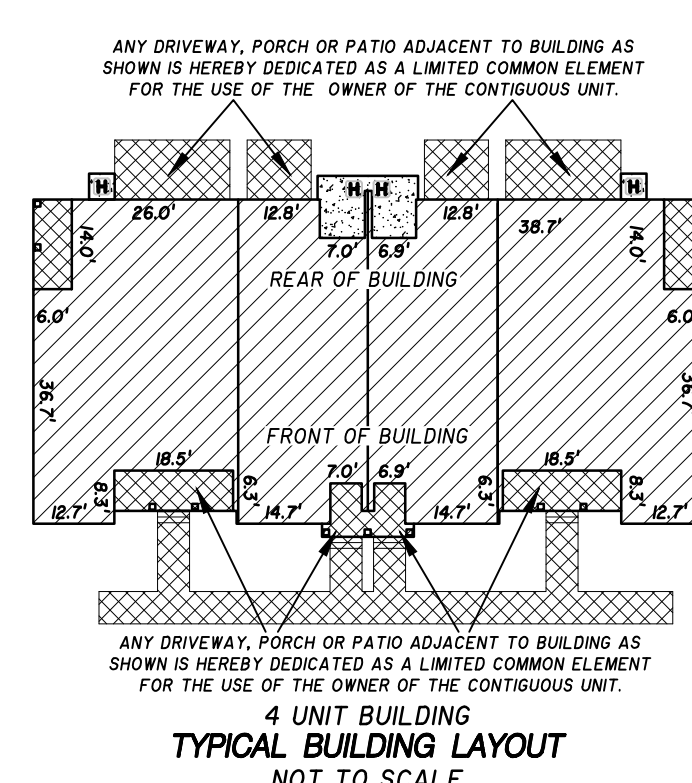
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR RUTHERFORD COUNTY, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER.

DATE: _____
SECRETARY, PLANNING COMMISSION

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 OR GREATER AS SHOWN HEREON. ALSO, SO CERTIFY THAT THE MONUMENTS HAVE BEEN, OR WILL BE, PLACED AS SHOWN TO THE SPECIFICATIONS OF THE CITY ENGINEER.

SEC. INC.
DATE: 11/05/2025
TENN. R.L.S. NO. 2381
DAVID A. PARKER - REGISTERED SURVEYOR



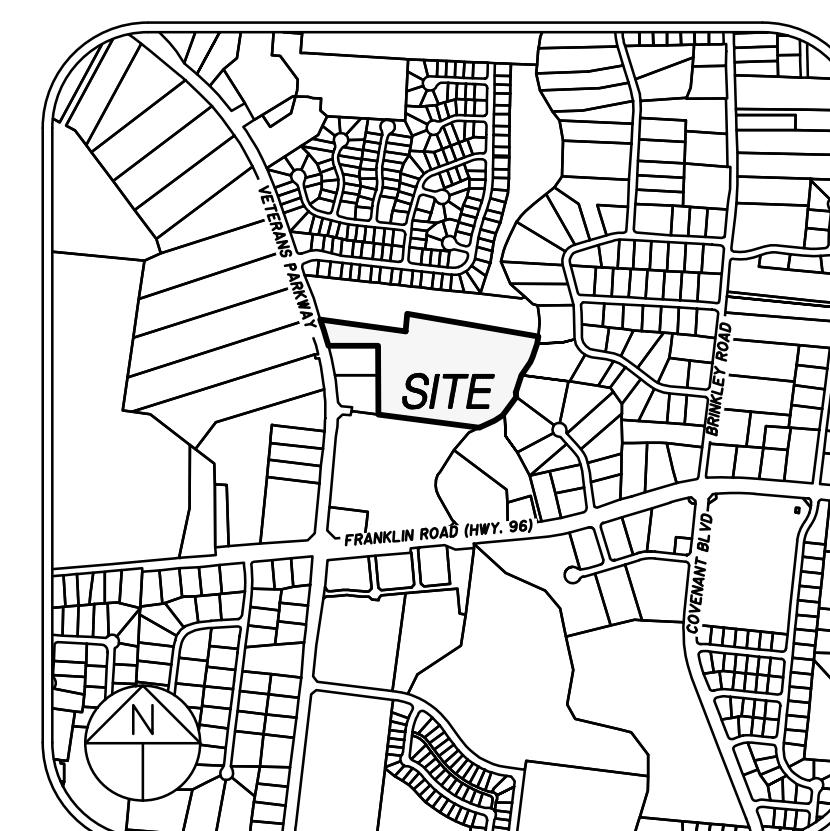
BUILDING MIN. FFE

UNIT NOS.	FEMA 100 YR FLOOD	MIN. BLDG. PAD ELEV.	MIN. FIN. FLOOR ELEV.
1 - 6	595.8	596.8	597.0
7 - 10, 11 - 14	595.7	596.7	597.5
15 - 18	595.6	596.6	597.0
19 - 23	596.0	597.0	597.3
23 - 27	596.8	597.8	597.8
28 - 32	597.6	598.6	599.9
33 - 38	597.2	598.2	598.2
39 - 44	596.7	597.7	597.7
45 - 50	596.8	597.8	597.8
51 - 56	597.5	598.5	598.5
57 - 62	597.9	598.9	598.8
63 - 68	598.2	599.2	599.2
69 - 74	597.8	598.8	598.8
75 - 80	597.0	598.0	599.5

DATE OF RECORDING: _____
TIME OF RECORDING: _____
PLAT BOOK: _____, PAGE _____

WATER QUALITY PROTECTION AREA NOTE

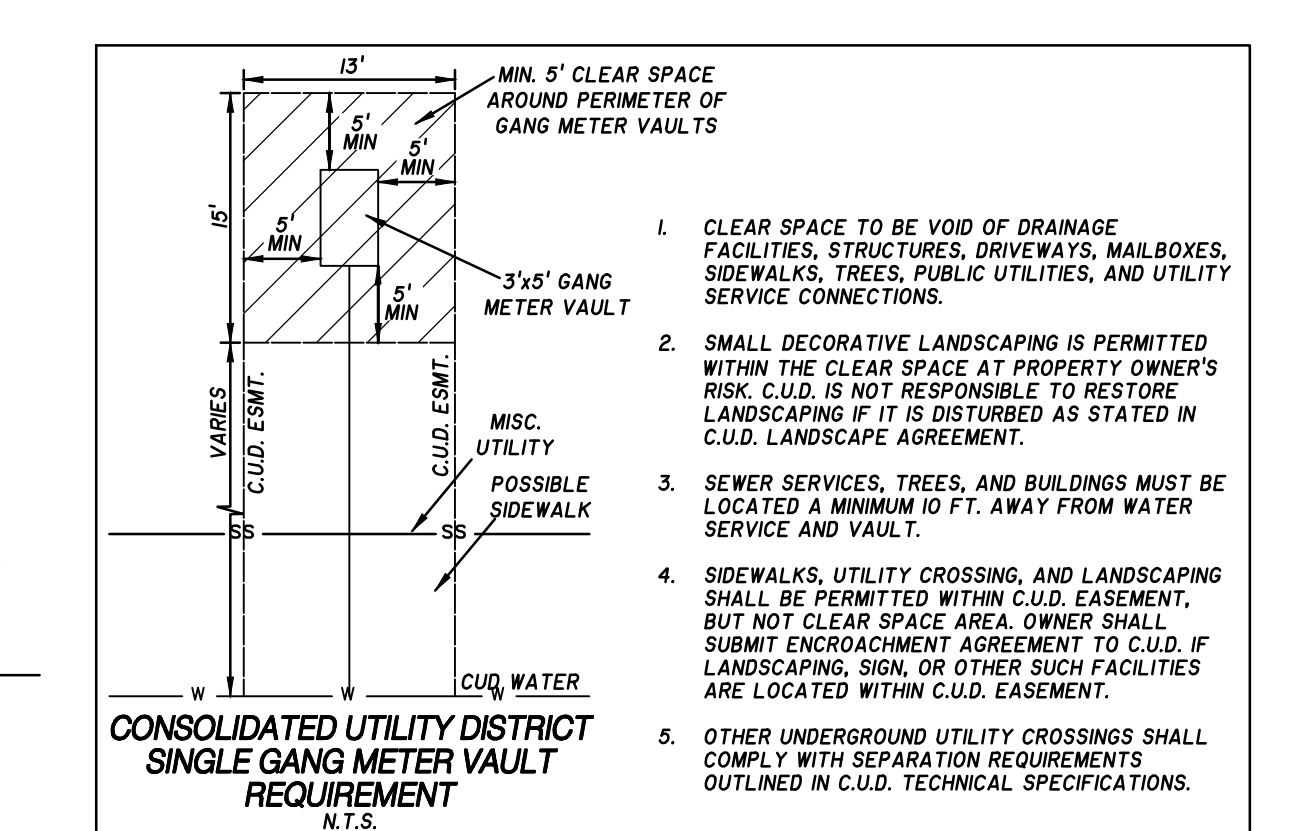
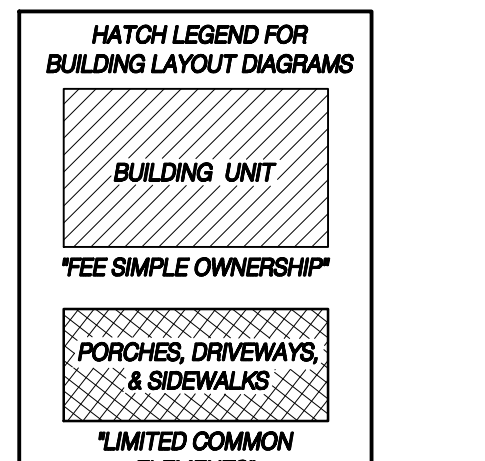
WATER QUALITY PROTECTION AREA
ZONE 1 = 35 FT. WIDE
WATER QUALITY PROTECTION AREA
ZONE 2 = 15 FT. WIDE
THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF SOIL AND/OR NATIVE VEGETATION WITHIN ANY WATER QUALITY PROTECTION AREA, EXCEPT AS PERMITTED IN WRITING BY THE DIRECTOR OF THE WATER AND SEWER DEPARTMENT OR THE ENGINEERING DIRECTOR. DISTURBANCE OF THE WATER QUALITY PROTECTION AREA, INCLUDING PLACEMENT OF STRUCTURES AND APPLICATION OF HERBICIDES OR FERTILIZERS, IS PROHIBITED. IN ZONE 2 ONLY, PROPERTY OWNERS ARE ALLOWED TO HAVE MANAGED VEGETATION, WHICH IS LIMITED TO CUTTING, MOWING, NO-TILL, PLANTING AND AERATION. REFERENCE, CITY CODE, CHAPTER 27-1/2.



LOCATION MAP

GENERAL NOTES

- THE PURPOSE OF THIS PLAT IS TO RECORD A HORIZONTAL PROPERTY REGIME, IN ACCORDANCE WITH THE TENNESSEE HORIZONTAL PROPERTY REGIME ACT, FOR 80 2-STORY UNITS AND TO DELINEATE COMMON AREAS AND LIMITED COMMON ELEMENTS.
- BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO CITY OF MURFREESBORO URBAN BOUNDARY MONUMENT UG802-000 (INAD 83-96).
- THIS PROPERTY LIES WITHIN ZONES X AND AE, A PORTION OF WHICH IS IN A SPECIAL FLOOD HAZARD AREA, AS DETERMINED FROM ELEVATIONS SHOWN ON FEMA FLOOD MAPS FOR RUTHERFORD COUNTY, MAP NO. 4745K0201-1, EFFECTIVE DATE MAY 9, 2003.
- ANY MINIMUM FINISHED FLOOR ELEVATION (M.F.E.) SHOWN INCLUDES THE MAIN BUILDING, GARAGES AND ACCESSORY STRUCTURES.
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES, ABOVE GROUND AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPEARANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. AVAILABILITY AND LOCATION OF UTILITIES SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY.
- NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR, THEREFORE, THIS PROPERTY IS SUBJECT TO THE FINDINGS OF A CURRENT AND ACCURATE TITLE SEARCH.
- SUBJECT PROPERTIES ARE ZONED PRD. MINIMUM BUILDING SETBACKS FOR THIS SITE ARE:
FRONT: 35'
REAR: 20'
SIDE: 5'
REAR: 20'
- THE SOILS MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT; THEREFORE, THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
- IT IS THE RESPONSIBILITY OF EACH LOT BUYER OR BUILDER TO DESIGN AND CONSTRUCT IN ACCORDANCE WITH A SUITABLE GRADING AND DRAINAGE PLAN WHICH WILL CONVEY SURFACE WATER, WITHOUT PONING IN THE LOT OR UNDER THE BUILDING, FROM THE BUILDING SITE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
- PUBLIC UTILITY EASEMENTS AS SHOWN ARE INTENDED FOR NON-EXCLUSIVE USE BY UTILITIES SUCH AS MURFREESBORO ELECTRIC DEPARTMENT, NATURAL GAS COMPANIES, AT&T, CABLE TELEVISION SERVICES AND OTHERS.
- UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION. AS AN ALTERNATIVE, THE HOME OWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE HOME BUILDER AND/OR HOME OWNER SHALL BE RESPONSIBLE FOR COMPLYING WITH THIS REQUIREMENT.
- ANY STREET IN THIS SUBDIVISION MAY BE EXTENDED INTO ADJOINING PROPERTY AT ANY TIME WITHOUT ADDITIONAL NOTICE OR CONSULTATION.
- THE STREETS IDENTIFIED ON THIS PLAT MAY BE CONSTRUCTED OR RECONSTRUCTED IN THE FUTURE WITHOUT CONSULTATION OR NOTICE TO THE OWNERS OF THE LOTS IN THE SUBDIVISION.
- EASEMENTS IN THE SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN UNTIL SOME FUTURE TIME AND THERE MAY BE NO NOTICE OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THIS CONSTRUCTION.
- A MANDATORY OWNERS ASSOCIATION IS REQUIRED AS A CONDITION OF APPROVAL IN ORDER TO MEET OBLIGATIONS ESTABLISHED BY THE DEVELOPER.
- PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY LOT IN THIS SUBDIVISION, THE OWNER SHALL POST A BUILDING PERMIT SURETY IN AN AMOUNT TO BE DETERMINED BY THE CITY ENGINEER TO ASSURE CONSTRUCTION OF LOT INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO SIDEWALKS, DRAINAGE IMPROVEMENTS, OR CONSTRUCTION OF WATER QUALITY ELEMENTS. SUCH CONSTRUCTION SHALL BE COMPLETED WITHIN NINE (9) MONTHS OF ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- THIS SITE CONTAINS POST-CONSTRUCTION BEST MANAGEMENT PRACTICES UTILIZED IN TREATING STORMWATER RUNOFF IN ORDER TO COMPLY WITH MURFREESBORO CITY CODE, A STORMWATER MAINTENANCE AGREEMENT IS RECORDED WITH THIS PROPERTY AND OBLIGATES ALL SUBSEQUENT OWNERS TO ADHERE TO THE STORMWATER MAINTENANCE PLAN ON FILE WITH THE CITY OF MURFREESBORO.
- IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE THERE ARE NO CONFLICTS WITH THE EXISTING CUD WATER FACILITIES AND THE PRIVATE ROAD/JOINT ACCESS EASEMENT; THE RELOCATION OF ANY EXISTING WATER FACILITIES WILL BE THE RESPONSIBILITY OF THE OWNER.
- CONSOLIDATED UTILITY DISTRICT MAY REOUR AN AMENDMENT PLAT OR SURVEY METES AND BOUNDS DESCRIPTION WITH EXHIBIT TO DEDICATE ANY NECESSARY EASEMENTS ONCE CONSTRUCTION IS COMPLETE.
- PROPERTY IS LOCATED WITHIN THE OVERALL CREEK SEWER ASSESSMENT DISTRICT.



HORIZONTAL PROPERTY REGIME & PRIVATE ELEMENT PLAT

SULLIVAN'S RETREAT SUBDIVISION

CITY OF MURFREESBORO, TENNESSEE
7th CIVIL DISTRICT, RUTHERFORD COUNTY, TENNESSEE

SEC, Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE

WWW.SEC-CIVIL.COM
850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
PHONE (615) 890-7901 • FAX (615) 895-2567

PROJ. # 2007611 | DATE: 10/16/2025 | FILE: test - 20076 Sullivan's Retreat | DRAWN BY: AT5 | SCALE: 1" = 50' | SHEET 1 OF 1

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
NOVEMBER 19, 2025
PROJECT PLANNER: BRAD BARBEE**

5.h. Singer Park, Lot 3 [2025-3123] site plan for a 702 ft2 coffee shop on 0.43 acres zoned L-I located along Northwest Broad Street, Michael Hazlett developer.

This is the site plan review for Singer Park Lot 3 located on Northwest Broad Street. The property is zoned L-1. The purpose of this site plan is to create a coffee shop building with associated parking area and landscaping.



Staff Comments

Development Services – Planning

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) Show the parking lot striping along the west side of the building. It appears that it may be angled in either direction as shown. *Provide additional information on the loading area. What will this be used for and how will it function as a part of the site?*
- 2) Provide an exhibit that identifies the areas that are being counted as void spaces. *A minimum or 50% void area is required for ground level retail uses. Please revise.*
- 3) No outline lighting or string lighting is permitted.
- 4) A final plat to create this lot must be recorded prior to the issuance of any Certificate of Occupancy.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

- 1) Both City and TDOT right of way permits will be required.
- 2) Both TDOT and Public Infrastructure engineering are required to review and approve the roadway improvement plans.
- 3) Plat to record lot must be recorded prior to the certificate of occupancy.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) No comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

- 1) No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750 tstevens@murfreesborotn.gov

- 1) No Comments

Consolidated Utility District

William Steele, 615.225.3311, [wsteele@cudrc.com](mailto:wsteele@ cudrc.com)

- 1) *CUD/MTE/MWRD review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until CUD/MTE/MWRD has issued its formal approval. The plans shall comply with all applicable CUD/MTE/MWRD standards.*

Middle Tennessee Electric Membership Corporation

Ben Martin, 615.494.1621, murfreesborocity.engineering@mte.com

- 1) *CUD/MTE/MWRD review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until CUD/MTE/MWRD has issued its formal approval. The plans shall comply with all applicable CUD/MTE/MWRD standards.*

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

- 1) No Comments.

Murfreesboro Water Resources Department

Anita Heck, 615.890.0862, aheck@murfreesborotn.gov

- 1) *CUD/MTE/MWRD review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until CUD/MTE/MWRD has issued its formal approval. The plans shall comply with all applicable CUD/MTE/MWRD standards.*

Informational and Procedural Comments

Development Services – Planning

Brad Barbee 615.893.6441, bbarbee@murfreesborotn.gov

- 1) This site plan is not affected by the City's Major Transportation Plan.
- 2) **Please be advised that plans approved after July 1, 2023, are subject to the City's Impact Fee Ordinance. If further information is needed, please contact the Planning Department.**
- 3) Per the engineer's certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
- 4) The design engineer needs to coordinate all proposed sidewalk locations with utility providers. Elimination of conflicts is the responsibility of the developer.
- 5) Designate an area on the plans for construction debris storage. As a note to the developer, an unkempt site will not be permitted, and if debris is stored in areas outside of the designated storage area, staff will shut down the jobsite.
- 6) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case or new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.
- 7) **Prior to the issuance of a building permit**, architectural plans and building elevations shall be stamped by a registered architect licensed in the State of Tennessee.
- 8) In accordance with City of Murfreesboro, Zoning Ordinance, Appendix A, Planning Commission Site Plan Review Checklist, please add the following standard notes to the Site Plan:
 - a. For any work proposed in the public right-of-way, the following note should be added to the plans: *"Contractor to coordinate with the Traffic Engineer in the City Transportation Department prior to commencement of work in this area to avoid damage to traffic signal devices."*
 - b. The following standard note shall appear on all site plans that are not exempt from providing a Stormwater Management Plan: *"A Stormwater Management Plan demonstrating that the site provides for treatment of the water quality volume and provides for management of the streambank protection volume must be provided."*
 - c. The following standard note shall appear on all site plans: *"An Engineers Certification of the construction of the stormwater management facilities must be provided to the City Engineer prior to issuance certificate of occupancy."*
 - d. The following standard note shall appear on all site plans: *"A Stormwater Fee Credit Application must be submitted prior to the issuance of a building permit."*

- e. The following standard note shall appear on all site plans: *“A Stormwater Facilities Operation and Maintenance Plan and a Stormwater Facilities Maintenance Agreement must be submitted prior to issuance of a building permit.”*
- f. The following standard note shall appear on all site plans: *“The Stormwater Facilities Maintenance Agreement must be recorded prior to certificate of occupancy.”*

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

- 1) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Engineering Department and must be approved by the city engineer.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

- 1) No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

- 1) The Planning Commission does not approve signage. Any signage that is shown on exterior building elevations, renderings, or site plans are not approved when those plans are reviewed as a function of the site plan and plat review processes.
- 2) Sign permits and reviews are a separate approval process, please reach out to Sign Administrator, Teresa Stevens at tstevens@murfreesborotn.gov for additional information.
- 3) Sign reviews can include temporary signs, attached signs, and ground signs. Strip lighting that is placed under an eave and outline lighting placed on the exterior of a building or canopy may be considered signs and require a separate review as well.
- 4) For proposed flagpole(s), the flagpole(s) shall be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for the flagpole(s) are established in the Sign Ordinance.
- 5) Any ground sign or freestanding wall sign (monument sign) to be located within a public utility or drainage easement shall have a completed and recorded City of Murfreesboro revocable license agreement with easement holders.
- 6) Any site and building signage installed prior to issuance of Certificate of Occupancy must have a sign permit issued. Any signs installed without a sign permit will delay your Certificate of Occupancy.
- 7) Proposed site signage to be installed shall be shown on utility and site plans. Proposed building signage shall be shown on elevation drawings.

Consolidated Utility District

William Steele, 615.225.3311, wsteele@ cudrc.com

1) No Comments

Middle Tennessee Electric Membership Corporation

Ben Martin, 615.494.1621, murfreesborocity.engineering@mte.com

1) No Comments

Murfreesboro Fire and Rescue Department

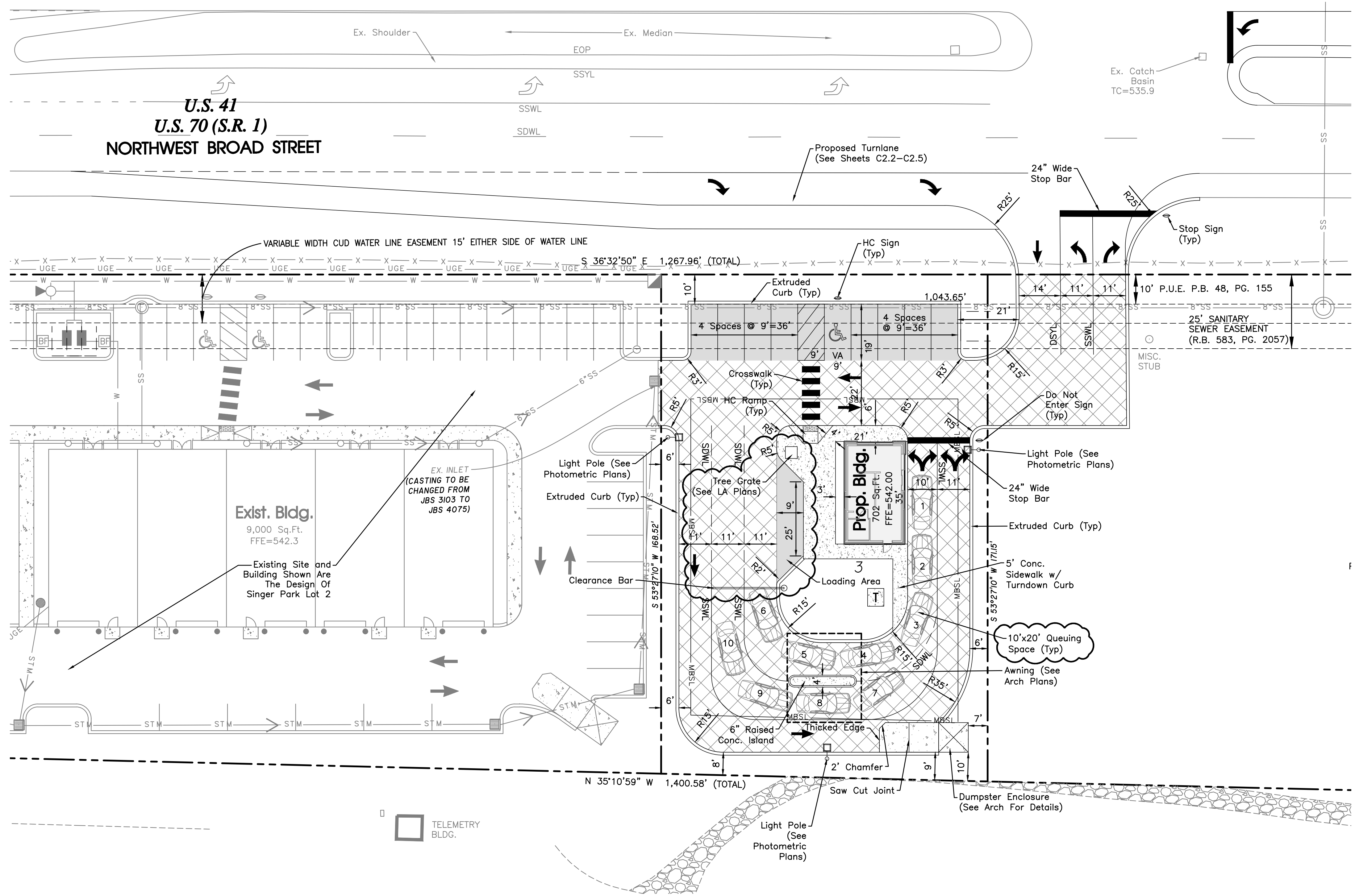
Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1) No Comments

Murfreesboro Water Resources Department

Anita Heck, 615.890.0862, aheck@murfreesborotn.gov

1) No Comments.

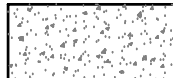




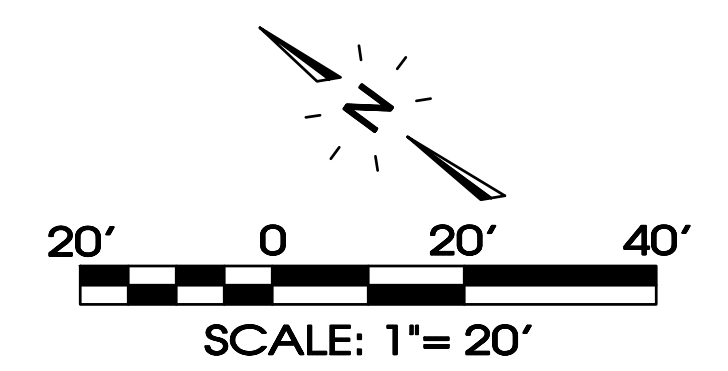
U.S. 41
U.S. 70 (S.R. 1)
NORTHWEST BROAD STREET

Exist. Bldg.
9,000 Sq.Ft.
FFE=542.3

Prop. Bldg.
702 Sq.Ft.
FFE=542.00

Pavement Hatch Legend

-  - Concrete Pavement
-  - Heavy Duty Asphalt Pavement
-  - Light Duty Asphalt Pavement



Owner:
Michael Hazlett
6229 Wild Heron Way
College Grove, TN 37046

Deed Reference:
Tax Map 57 Parcel 43.00
Record Book 2072, Page 3007

Yard Requirements:
Front: 42'
Side: 10'
Rear: 20'

Intended Use:
Coffee Shop

Land Use Data:
Zoned: L-1
2: 1-Story Buildings
Building Ht.: -'-"
Total Floor Area: 576 Sq.Ft.
1 Lot on: 0.43± Acres

Parking Requirement:
Required: 6 Spaces x 580 Sq.Ft. = 6 Spaces
Provided: 11 Regular + 1 H.C. = 12 Spaces

Flood Map No.:
This site lies within Zone X, not in the 100 Year Floodplain, per Community Panel 47149C0140J dated May 9, 2023.

REVISED: 2025-11-5; Staff Comments	DATE: 10-16-2025
DRAWN: SJA/GRL	CHECKED: MAT
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JOB NO. 21022	SHEET: C2.0

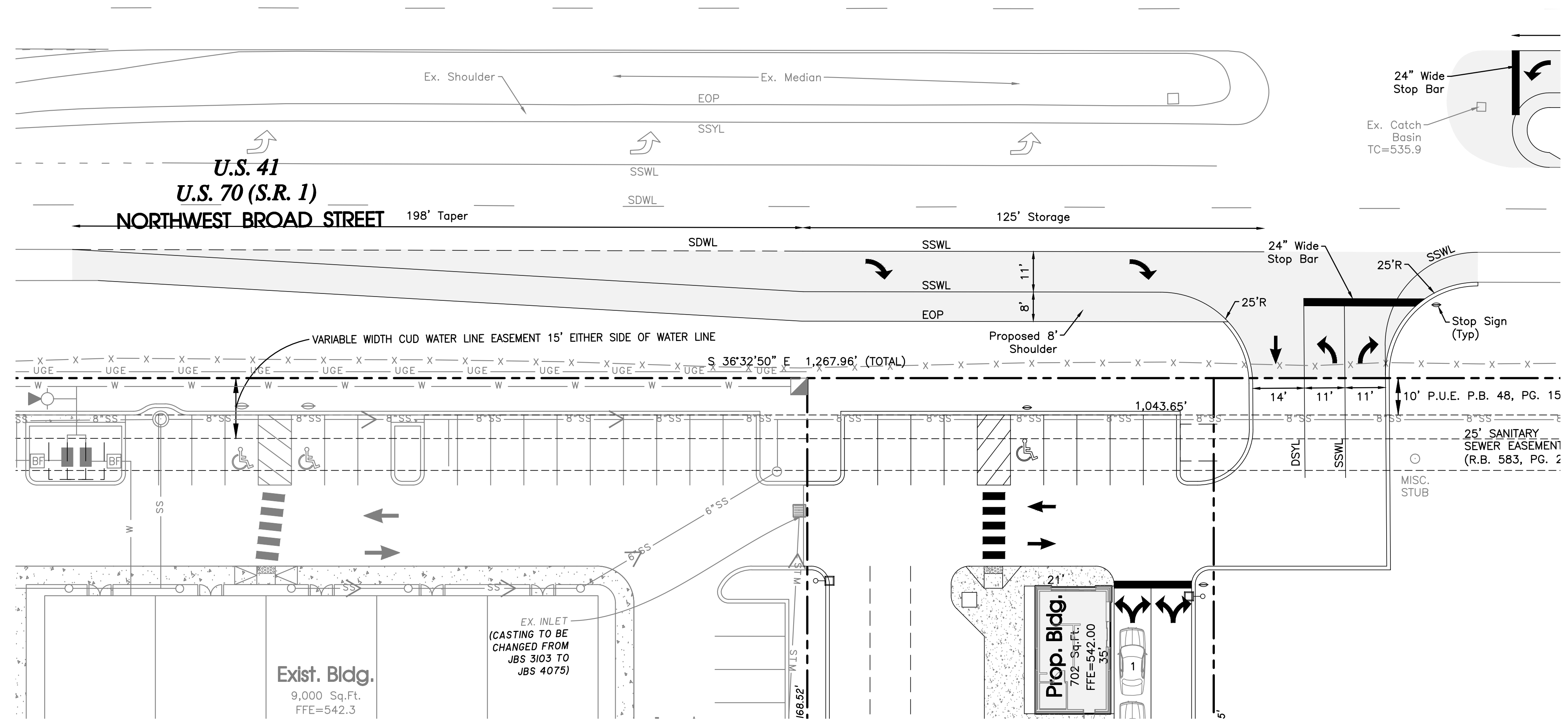
Singer Park, Lot 3
N.W. Broad Street
Murfreesboro, Tennessee

REVIEW SET
(Not Intended for Construction)

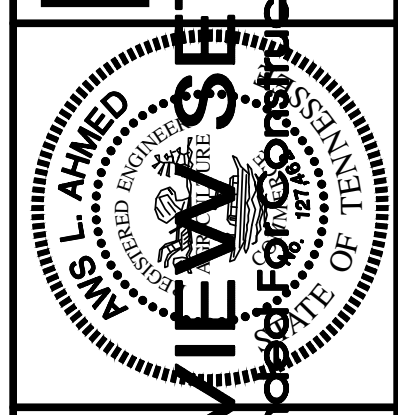
SEC, Inc.
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE

850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
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REVIEW SET
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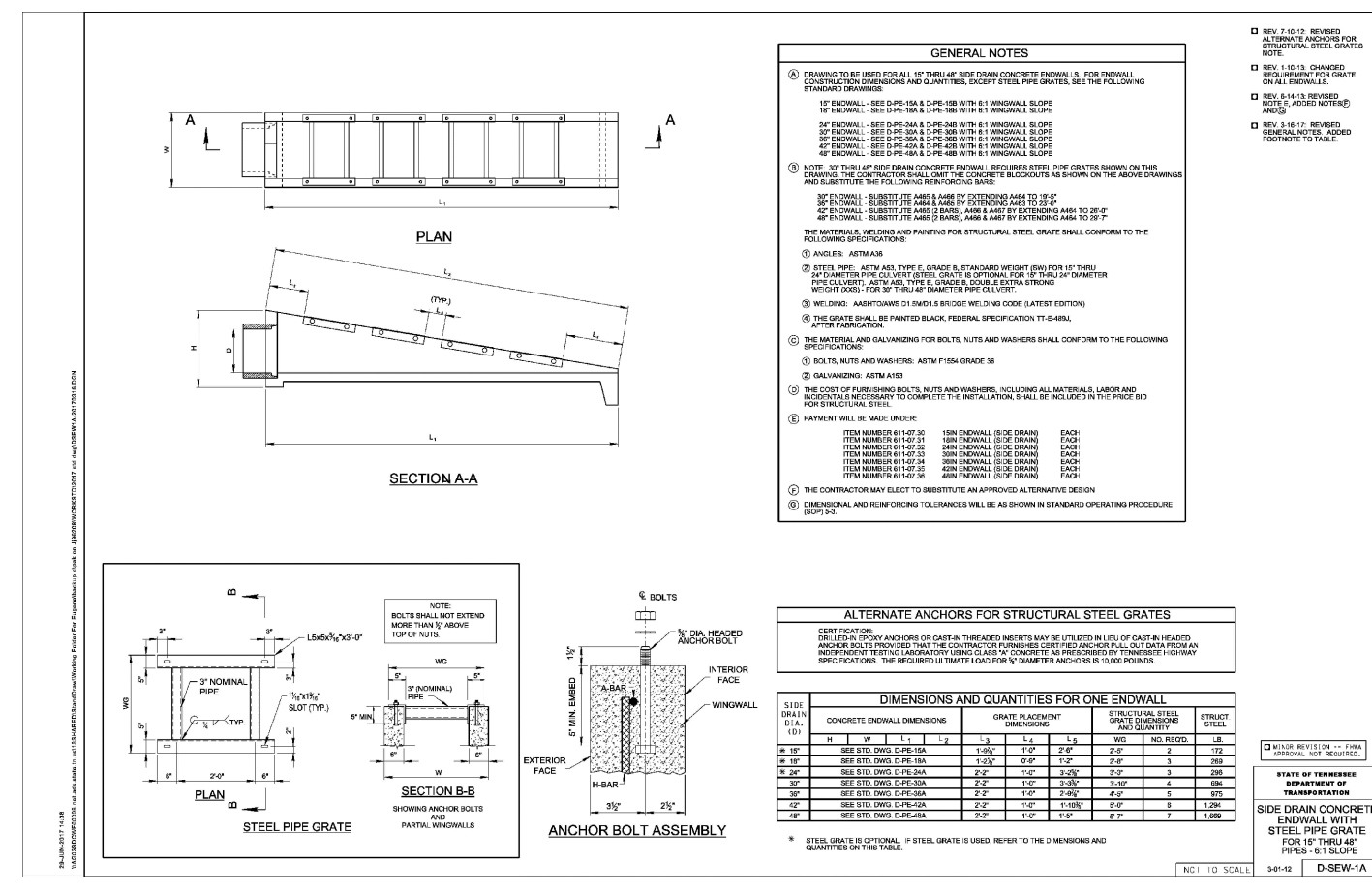
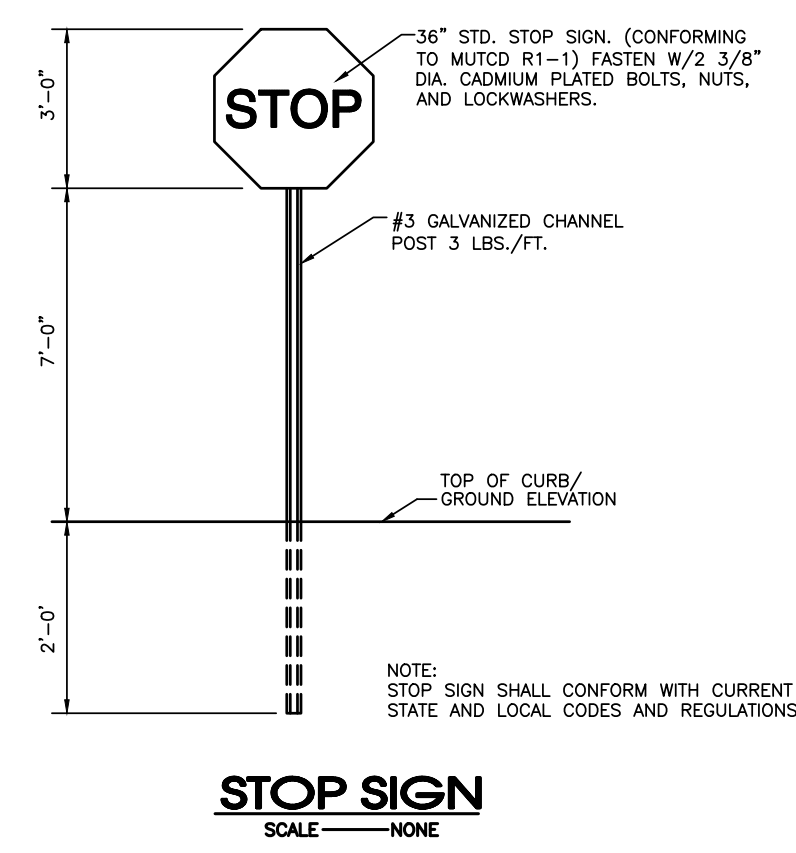
Singer Park, Lot 3
 N.W. Broad Street
 Murfreesboro, Tennessee

REVISED: 2025-11-5; Staff Comments
 DRAWN: SJA/GRL
 DATE: 10-16-2025
 CHECKED:
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 FILE NAME:
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 SCALE:
 1"=20'
 JOB NO.
 21022
 SHEET:
C2.2

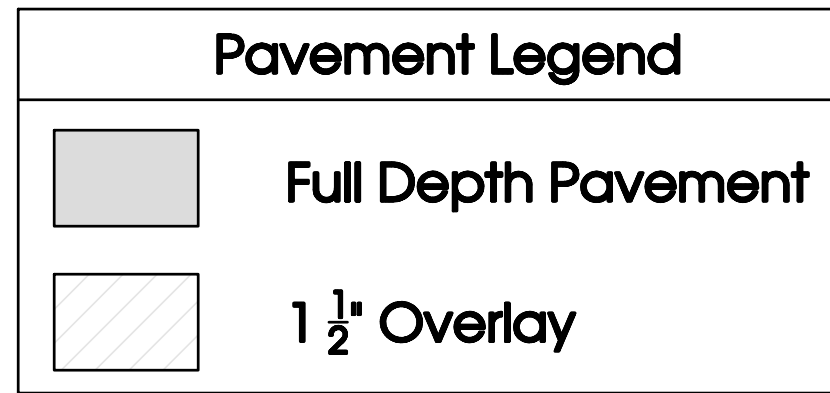
4" Pavement Marking Schedule:
 SSWL: Single Solid White Line
 SSYL: Single Solid Yellow Line
 DSYL: Double Solid Yellow Line
 SDWL: Single Dashed White Line



- TDOT Standard Drawings:**
- 1) D-CB-38S Standard 32"x32" Square Concrete NO. 38 Catch Basin
 - 2) D-CB-42SB Standard 4'x4' Square Concrete NO. 42 Catch Basin
 - 3) D-CBB-42 Cast Iron Grate Details for 42, 43, & 44 Type Catch Basin
 - 4) D-SEW-1A Type "Safety" Side Drain Endwall with Steel Pipe Grate, for 15" thru 48" Pipes, 6:1 Slope



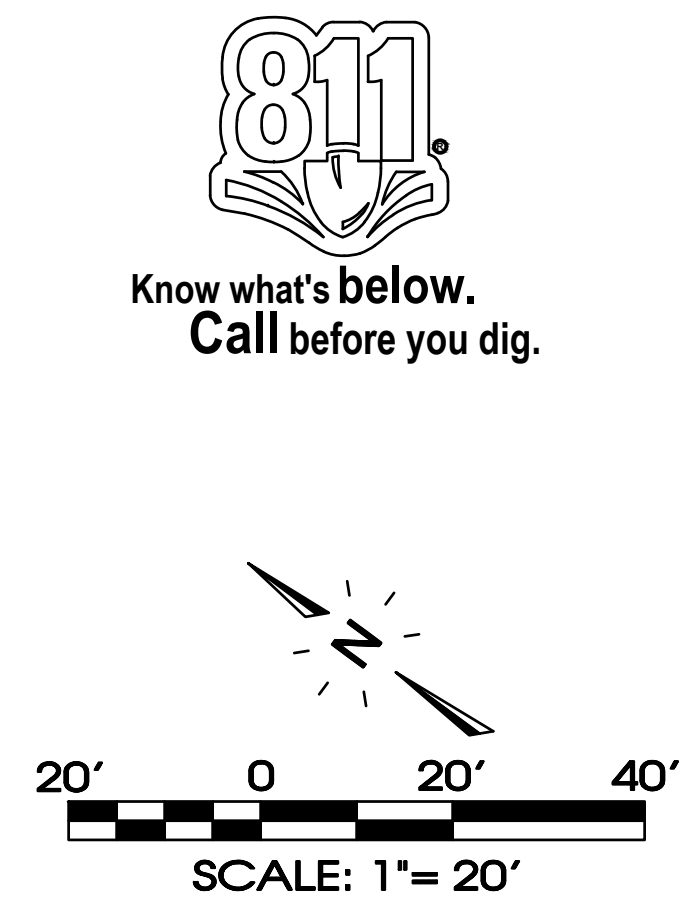
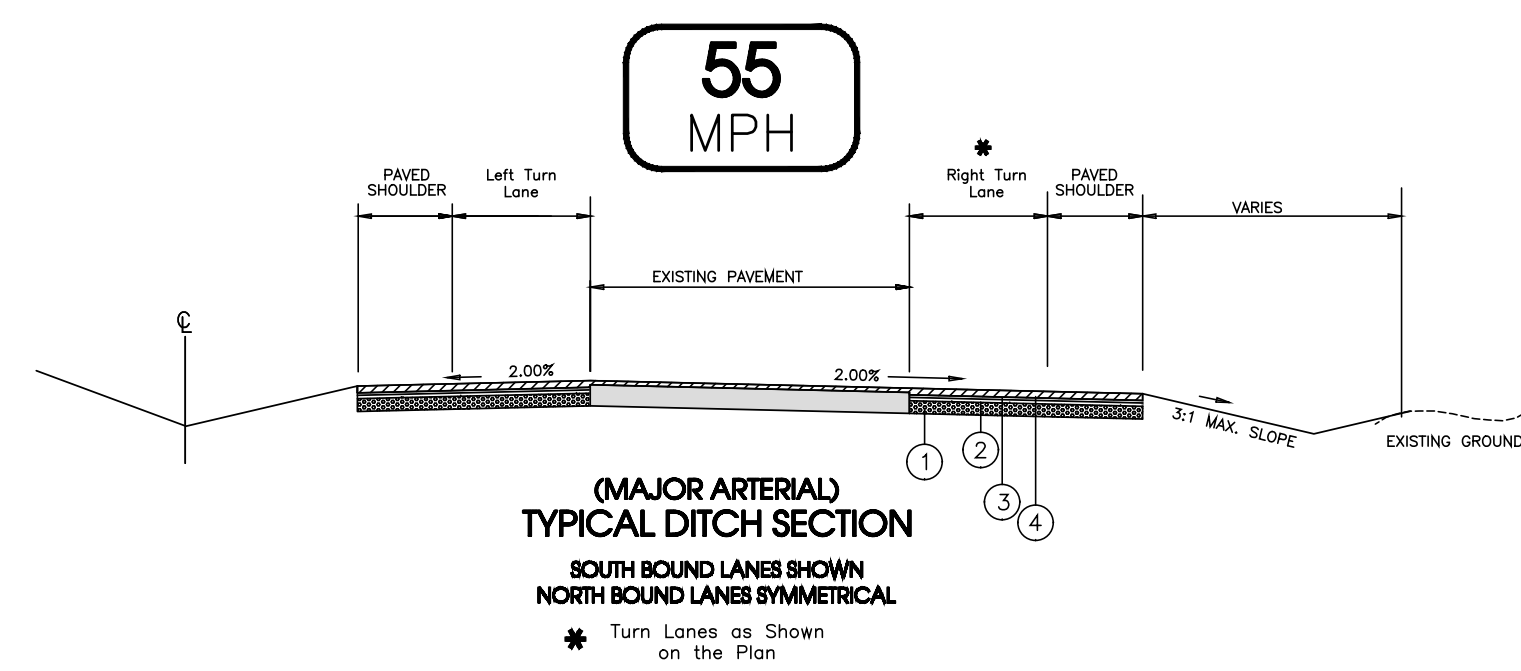
See Sheet C3.0 For Drainage Tables



POSTED SPEED 55 MPH

- TDOT Notes:**
- 1) All Markings Within R.O.W. Shall Be Thermoplastic.
 - 2) The Site Has Adequate Sight Distance
 - 3) Pre Q50=16.90cfs : Post Q50= 5.61 cfs (No Increase in Q50 into TDOT R.O.W.)
 - 4) All Headwalls In TDOT ROW Shall Be D-SEW-1A Endwalls.
 - 5) Stop Sign In TDOT ROW Shall Be 36" Face And 7' From The Top Of Curb To Bottom Of Sign Face.

PAVEMENT LEGEND	
①	STONE @ 10.00" +/- THICK 303-01 MINERAL AGGREGATE, TYPE A BASE GRADING "D"
②	BASE (MODIFIED) @ 4.00" +/- THICK (APPROX. 480.00 LBS / S.Y.) PG 70-22 307-02.01 - BITUMINOUS PLANT MIX BASE (HOT MIX) (BPMB-HM) GRADING "A"
③	BINDER (MODIFIED) @ 2.00" +/- THICK (APPROX. 226.00 LBS / S.Y.) PG 70-22 307-02.07 - BITUMINOUS PLANT MIX BASE (HOT MIX) (BPMB-HM) GRADING "B"
④	SURFACE @ 1.25" +/- THICK (APPROX. 132.50 LBS / S.Y.) PG 70-22 411-02.10 MINERAL AGGREGATE FOR ASPHALTIC CONCRETE SURFACE (ACS) GRADING "D"
⑤	PRIME COAT 402-01 BITUMINOUS MATERIAL FOR PRIME COAT (PC) @ 0.30-0.35 GAL / S.Y. 402-02 AGGREGATE FOR COVER MATERIAL (PC) @ 8-12 LBS. / S.Y.
⑥	TACK COAT 403-01 BITUMINOUS MATERIAL FOR TACK COAT (TC) @ 0.20 GAL. / S.Y.



NORTHWEST BROAD STREET

Coffee Shop, Lot 3

LANDSCAPE PLAN

SITE DATA
 SITE AREA: 0.43 ACRES
 SITE ZONING: L-1 LIGHT INDUSTRIAL

OPEN SPACE REQUIREMENTS
 20% OF OPEN SPACE (LANDSCAPE AREAS GREATER THAN 200 SF) IS REQUIRED PER PHASE.
 OPEN SPACE REQUIRED 0.43 AC x 20% = 0.09 AC
 OPEN SPACE PROVIDED = 0.12 AC (27.9%)

FORMAL OPEN SPACE 3% OR 2,000 SQFT MIN.
 REQUIRED: 0.43 X 3% = 561 SQFT OR 2,000 SQFT MIN.
 PROVIDED: 2,000 SQFT

REQUIRED PERIMETER LANDSCAPING

	REQUIRED	PROVIDED
(NORTHEAST BROAD STREET- LIMITED STREET FRONTAGE) 550.86 SQ.FT. 1 SHRUB/ 12.5 SQ.FT. OF PLANTING YARD	44 SHRUBS	45 SHRUBS
(NORTHWEST PERIMETER) (168.52'-24.00') = 144.52 LF 1 SHADE TREE/ 40 LF OF FRONTAGE	4 TREES	4 TREES
(SOUTHEAST PERIMETER) 110.20 LF 1 SHADE TREE/ 40 LF OF FRONTAGE	3 TREES	3 TREES
(SOUTHWEST PERIMETER) (171.15'-24.06') = 147.09 LF 1 SHADE TREE/ 40 LF OF FRONTAGE	4 TREES	4 TREES

PARKING LOT REQUIREMENTS

ONE SHADE TREE, OR TWO ORNAMENTAL TREES TO BE PLANTED PER LANDSCAPE ISLANDS (MIN. 8" WIDTH)
 4 LANDSCAPE ISLANDS PROVIDED = 4 TREES REQUIRED
 3 TREES PROVIDED IN ISLANDS

DESIGN GUIDELINES, LANDSCAPE REQUIREMENTS

	TREES REQUIRED	TREES PROPOSED
REQUIRED PERIMETER/PARKING TREES:	12	14
10% REQUIRED 4" CALIPER:	1	1
15% REQUIRED 3" CALIPER:	2	13

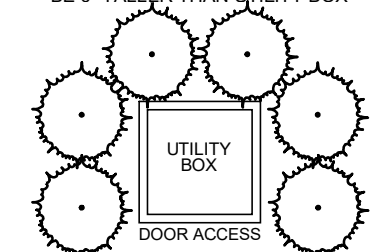
PLAN NOTES:

- ANY TREES OR SHRUBS THAT ARE DEAD, DYING OR MISSING OUTSIDE THE SCOPE OF THE CURRENT WORK WILL NEED TO BE REPLACED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- ALL LANDSCAPE BEDS TO HAVE NEATLY TRENCHED BED EDGE AND HAVE 4" MINIMUM DEPTH OF HARDWOOD MULCH.
- ALL TREES AND SHRUBS SHALL BE COORDINATED WITH LIGHTING PLAN PRIOR TO INSTALLATION.
- ALL NEW PLANT MATERIAL AND TURF AREAS SHOULD BE IRRIGATED.
- ALL SHRUBS TO BE 3" BACK OF CURB.
- ALL AREAS OF DISTURBANCE OUTSIDE OF LANDSCAPE BEDS SHALL BE REPAIRED WITH REBEL III FESCUE SEED OR SOD.
- ANY UTILITY STRUCTURE, LIGHT POLES, SIGN, OR OTHER FEATURE MAY NOT BE ADDED TO ANY REQUIRED LANDSCAPE ISLAND IN SUCH A MANNER THAT WOULD DISPLACE THE REQUIRED ELEMENT(S) (TREES, SHRUBS, ETC.)
- PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING MATERIALS, INCLUDING TURF, AND IRRIGATION MATERIALS BOTH ON SITE, AND INSIDE THE ROW.

PLANTING SCHEDULE NOTES

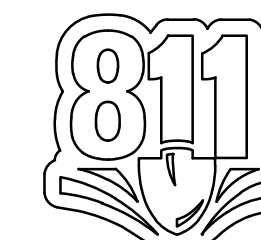
- SHRUBS AND TREES SHALL BE OF THE HIGHEST QUALITY.
- NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER AND LANDSCAPE ARCHITECT OF RECORD.
- SUBSTITUTIONS AND DEVIATIONS MAY OR MAY NOT BE APPROVED.
- REVISED LANDSCAPE PLANS MUST BE SUBMITTED AND APPROVED BY THE CITY OF MURFREESBORO PLANNING DEPARTMENT 615-893-6441 PRIOR TO INSTALLATION.
- ALL IRRIGATION, LAWN AND PLANT MATERIALS WITHIN THE ROW MUST BE MAINTAINED BY THE PROPERTY OWNER.

EVERGREEN PLANT MATERIAL SHALL BE 6" TALLER THAN UTILITY BOX

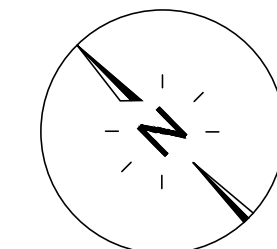


NOTE: UTILITY BOXES NOT SHOWN ON PLANS SHALL BE IDENTIFIED IN THE FIELD AND SCREENED WITH EVERGREEN PLANTS AS SHOWN ABOVE.

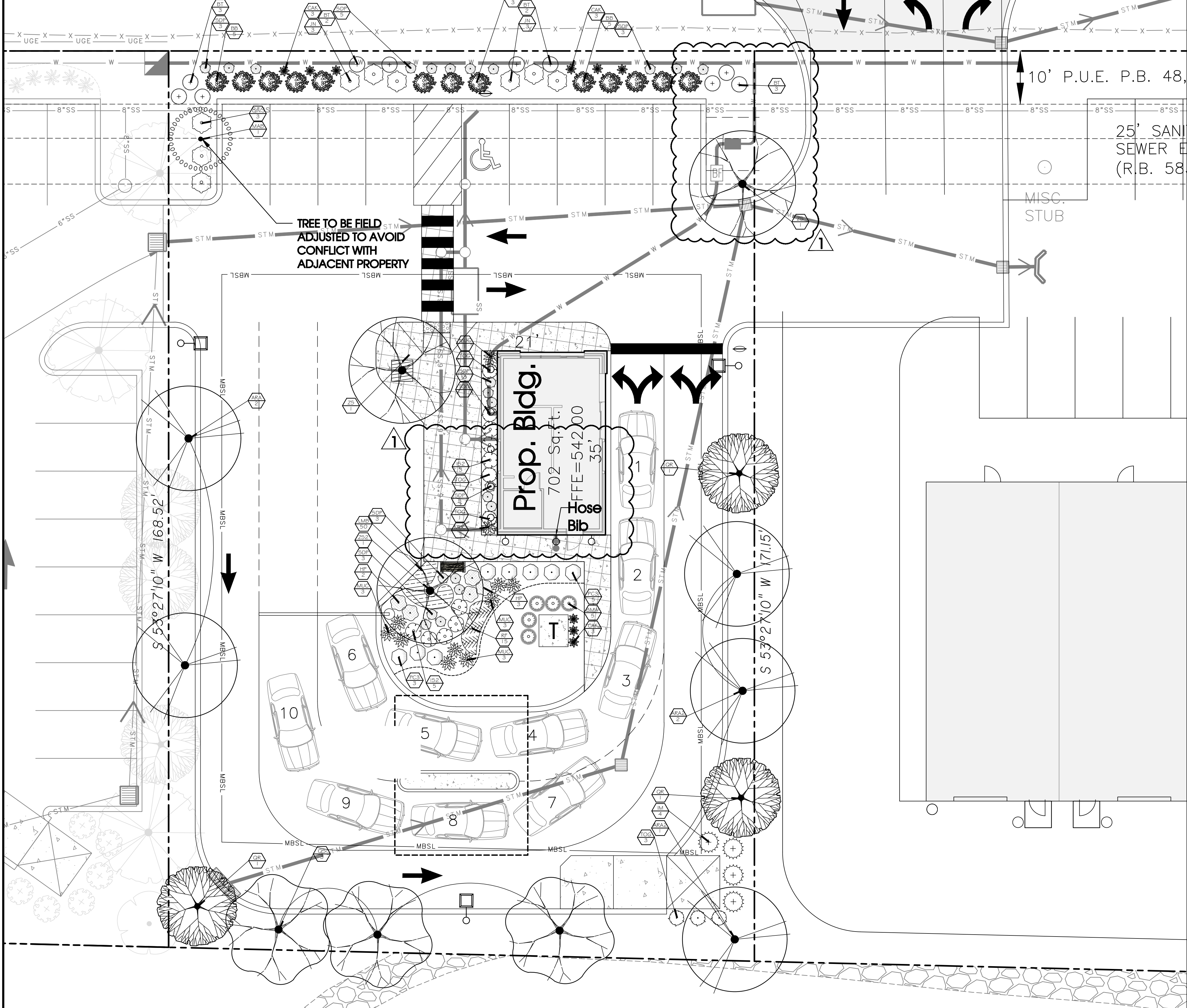
UTILITY BOX SCREENING NOT TO SCALE



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Coffee Shop, Lot 3
 N.W. Broad Street
 Murfreesboro, Tennessee

REVISIONS:
 A11-05-2025: Staff Comments
 DRAWN: NPB
 DATE: 09-30-2025
 CHECKED: BPG
 FILE NAME: 21022coffee_LA
 SCALE: 1" = 10'
 JOB NO: 21022
 SHEET: L1.0



LINES
interiors + architecture



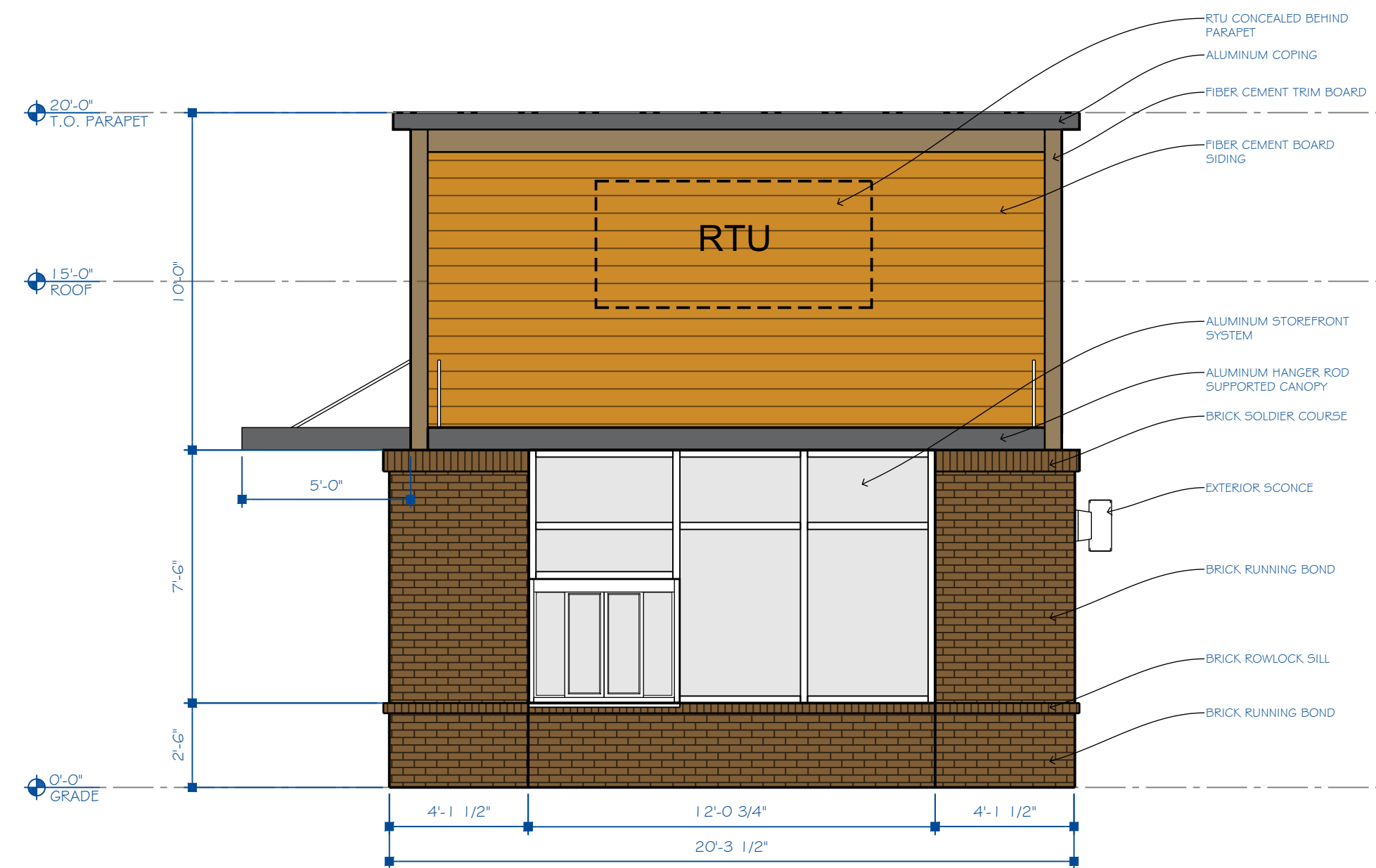
LINES
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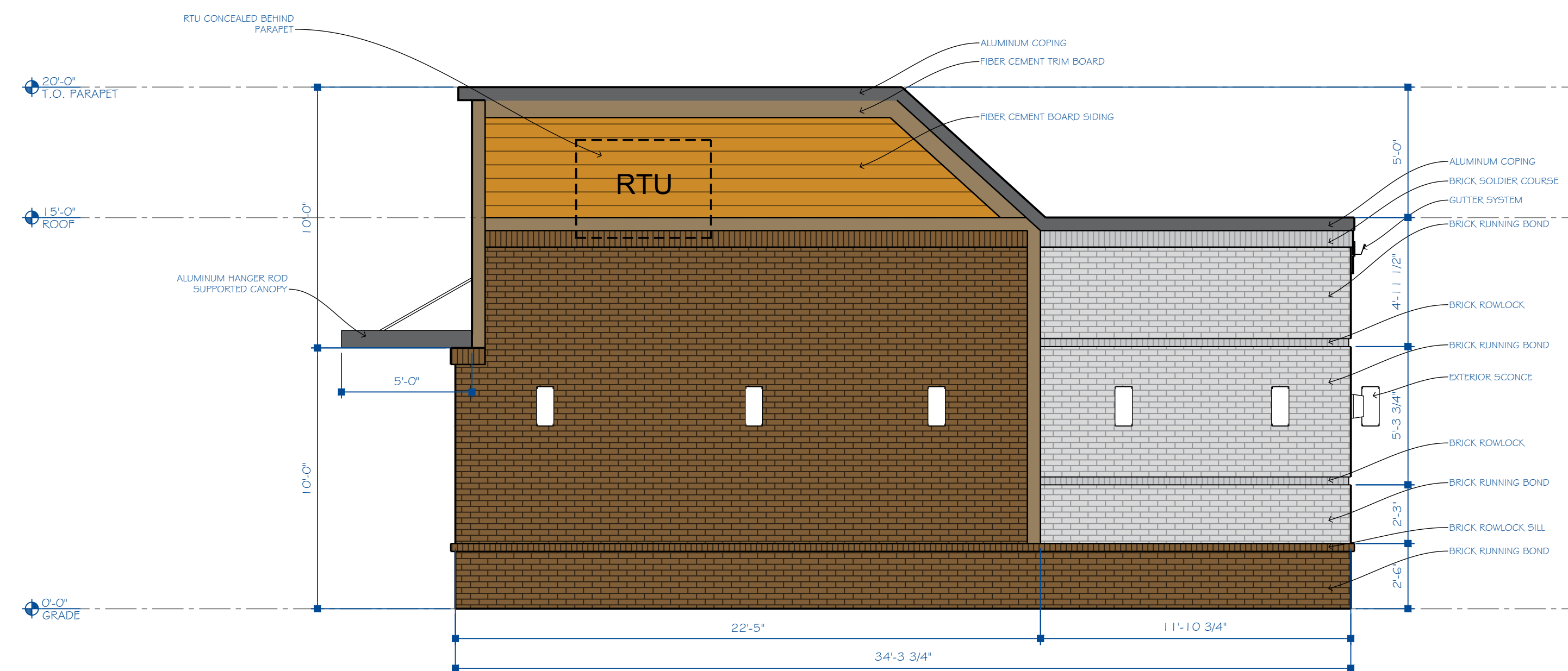
LINES
interiors + architecture

finish schedule

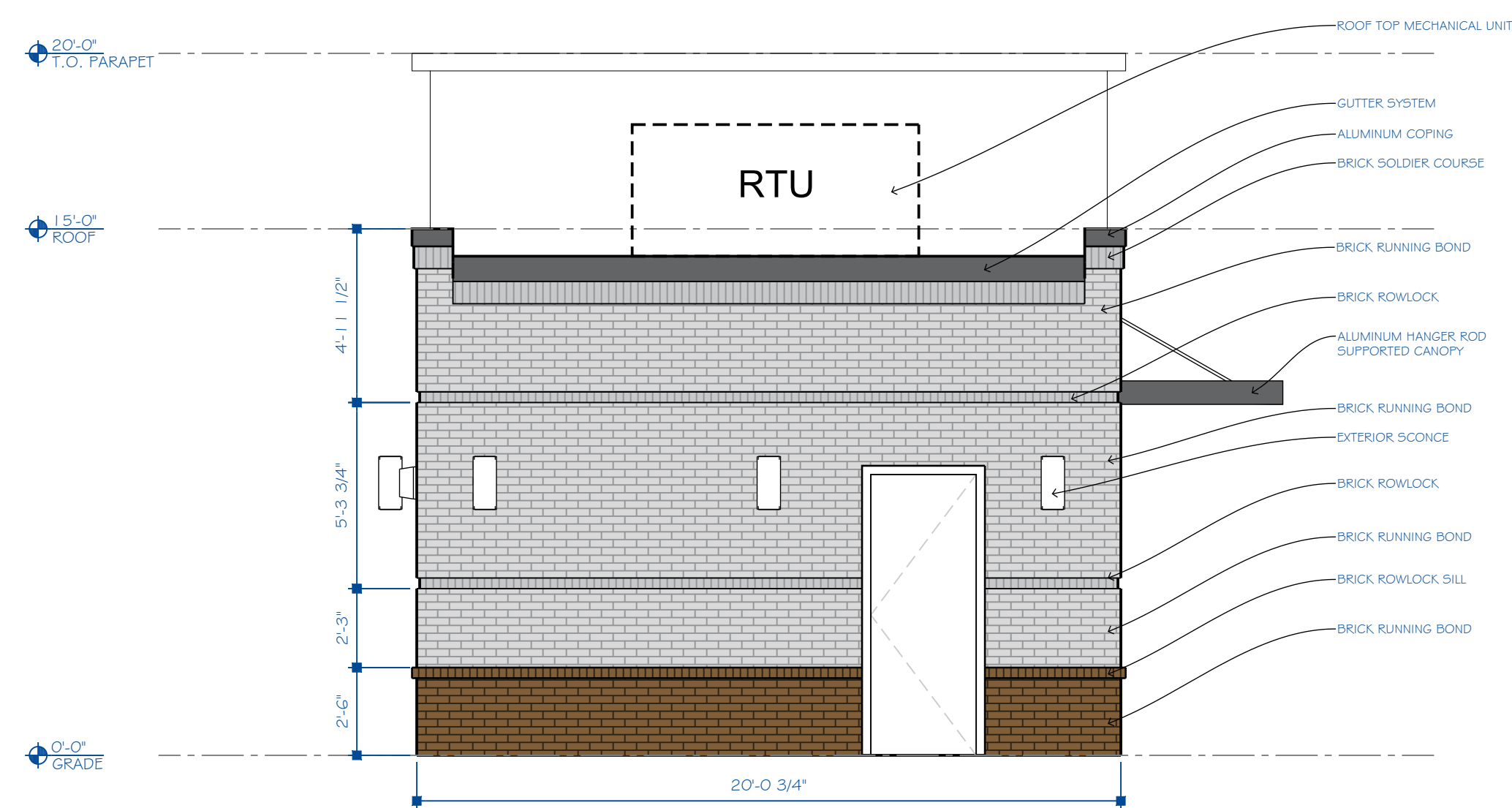
- BR-1 BRICK FACING (DARK)
MANUFACTURER: GENERAL SHALE
COLOR: MONUMENT TUDOR
SIZE: STANDARD
- BR-2 BRICK FACING (LIGHT)
MANUFACTURER: GENERAL SHALE
COLOR: STEEPLECHASE CANYON
SIZE: STANDARD
- FCB-1 FIBER CEMENT BOARD SIDING
MANUFACTURER: NICHHA FIBER CEMENT
STYLE: VINTAGEWOOD WOOD SERIES
PRODUCT: AWP 1818
COLOR: SPRUCE



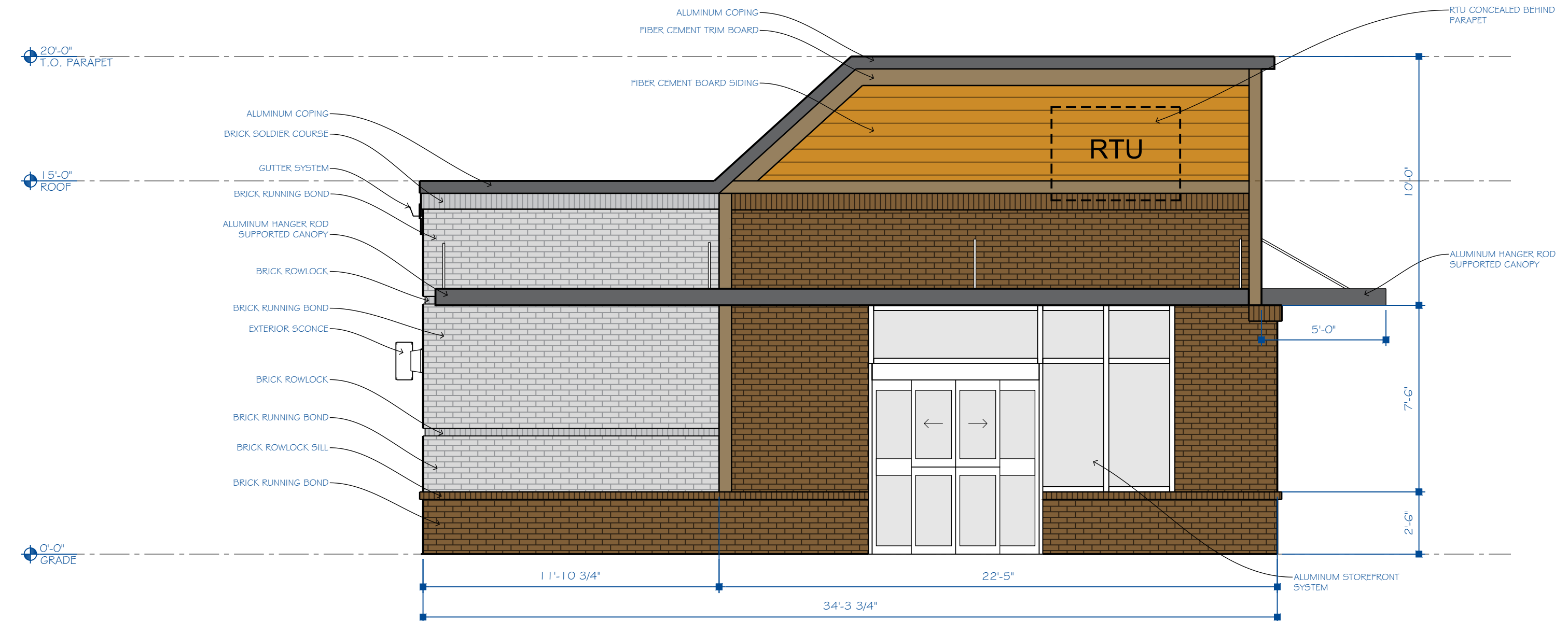
MATERIALS		
MATERIAL	SQUARE FOOTAGE	PERCENTAGE
BRICK	112 SF	28.1%
METAL	26 SF	6.5%
WOOD-LOOK FIBER CEMENT BOARD	171 SF	42.9%
GLASS	90 SF	22.6%
TOTAL	399 SF	100%



MATERIALS		
MATERIAL	SQUARE FOOTAGE	PERCENTAGE
BRICK	482 SF	79.4%
METAL	21 SF	3.5%
WOOD-LOOK FIBER CEMENT BOARD	104 SF	17.1%
GLASS	0 SF	0.0%
TOTAL	607 SF	100%



MATERIALS		
MATERIAL	SQUARE FOOTAGE	PERCENTAGE
BRICK	241 SF	85.5%
METAL	41 SF	14.5%
WOOD-LOOK FIBER CEMENT BOARD	0 SF	0.0%
GLASS	0 SF	0.0%
TOTAL	282 SF	100%

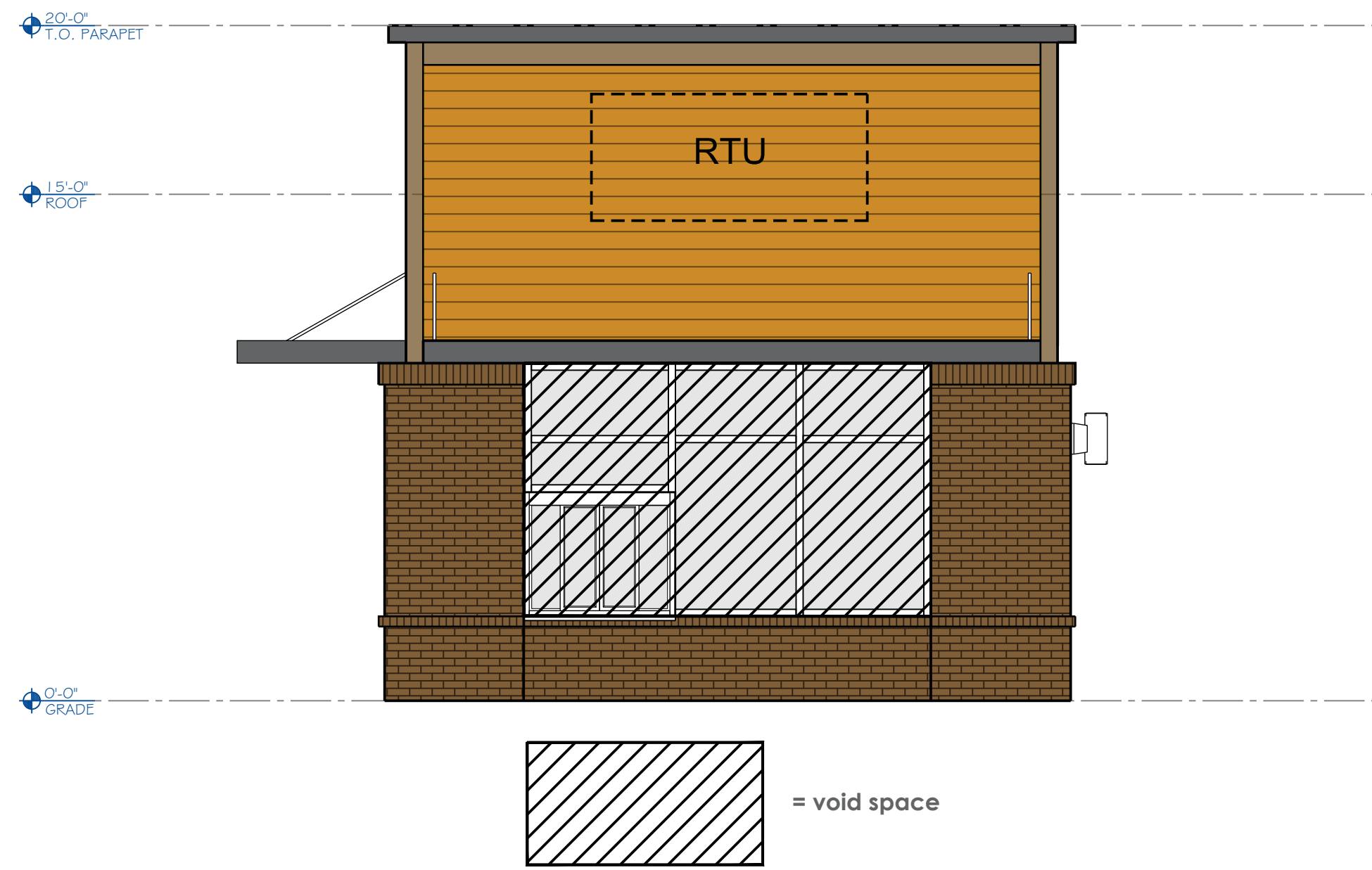


MATERIALS		
MATERIAL	SQUARE FOOTAGE	PERCENTAGE
BRICK	346 SF	56.6%
METAL	78 SF	12.8%
WOOD-LOOK FIBER CEMENT BOARD	77 SF	12.6%
GLASS	110 SF	18.0%
TOTAL	611 SF	100%

elevations

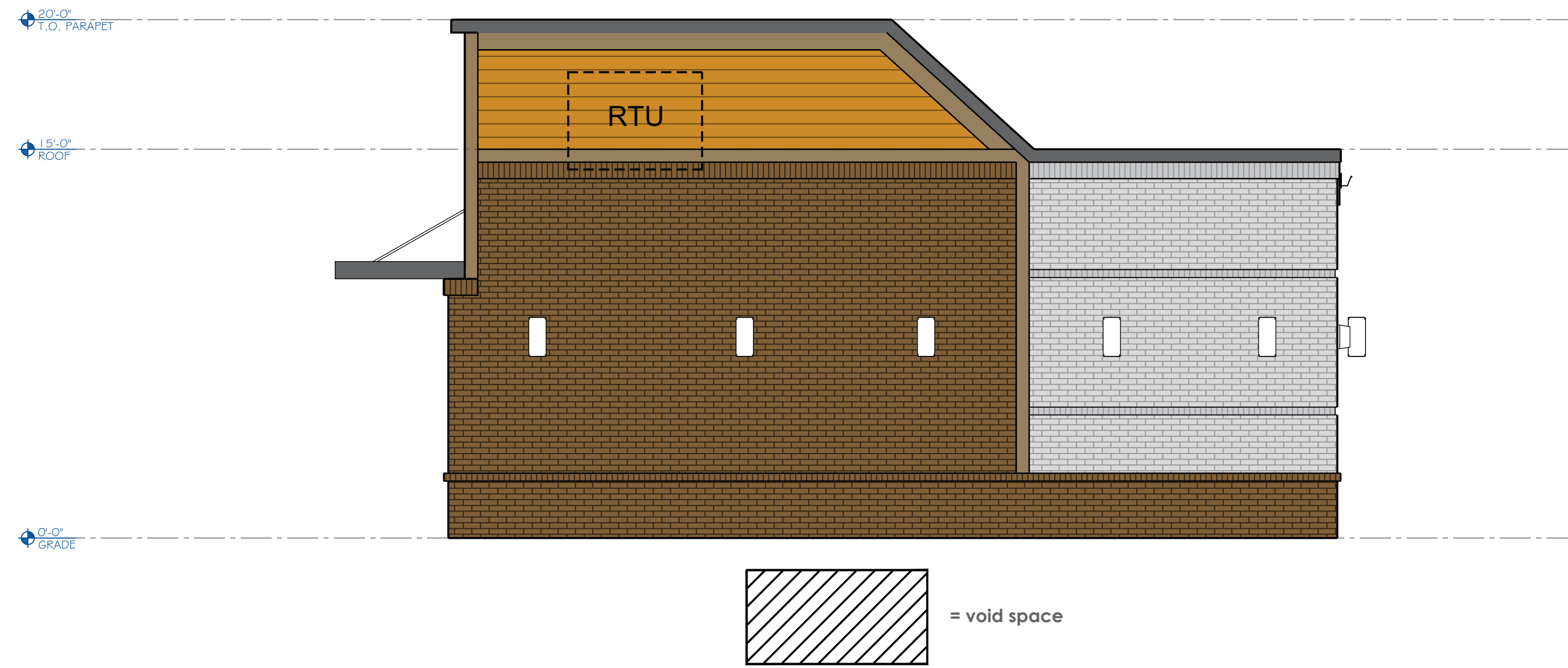
JUST LOVE DRIVE-THRU ONLY MURFREESBORO, TENNESSEE





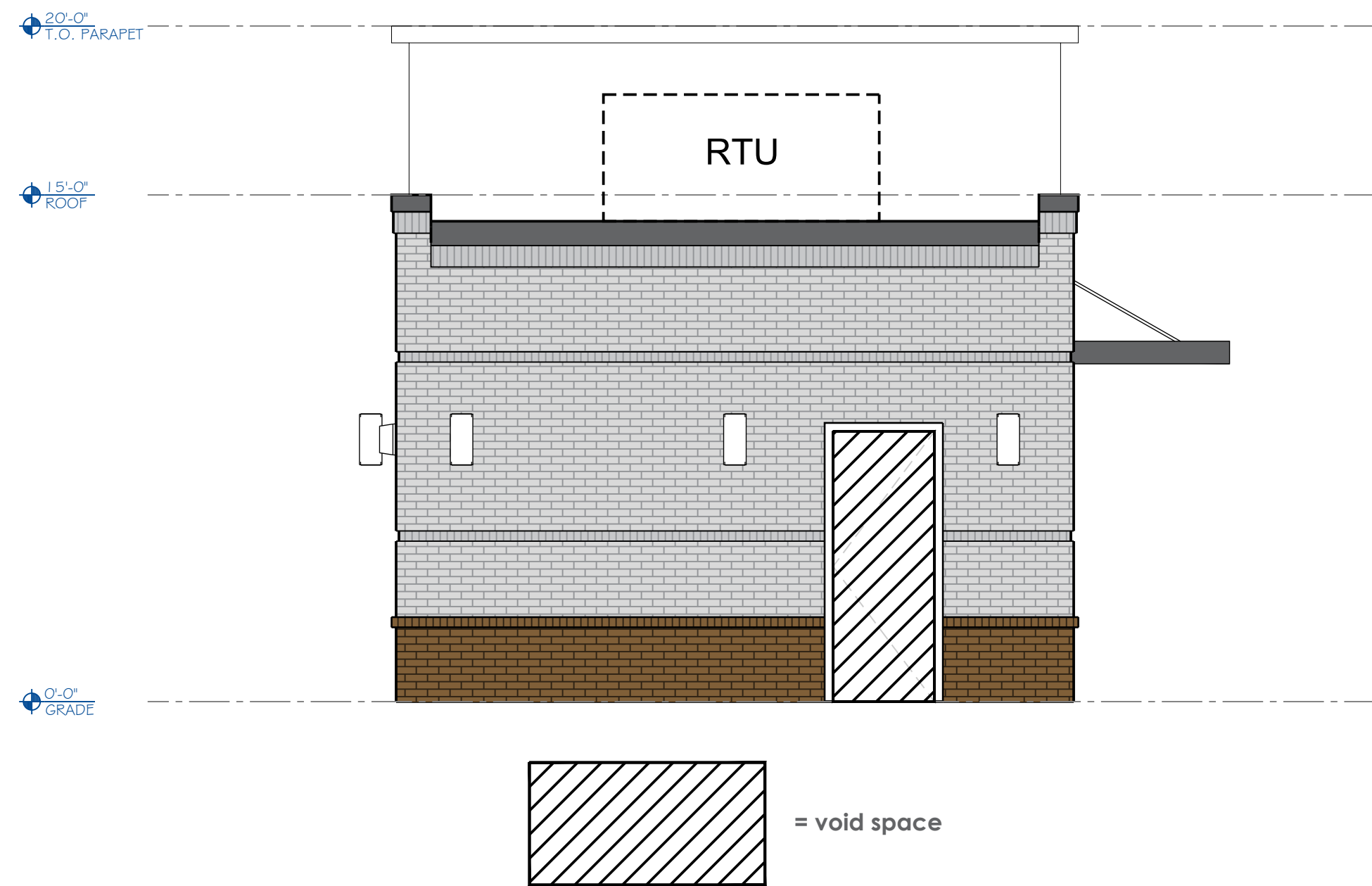
VOID SPACE CALCULATIONS

MATERIAL	SQUARE FOOTAGE	PERCENTAGE
SOLID	319 SF	77.4%
VOID	90 SF	22.6%
TOTAL	399 SF	100%



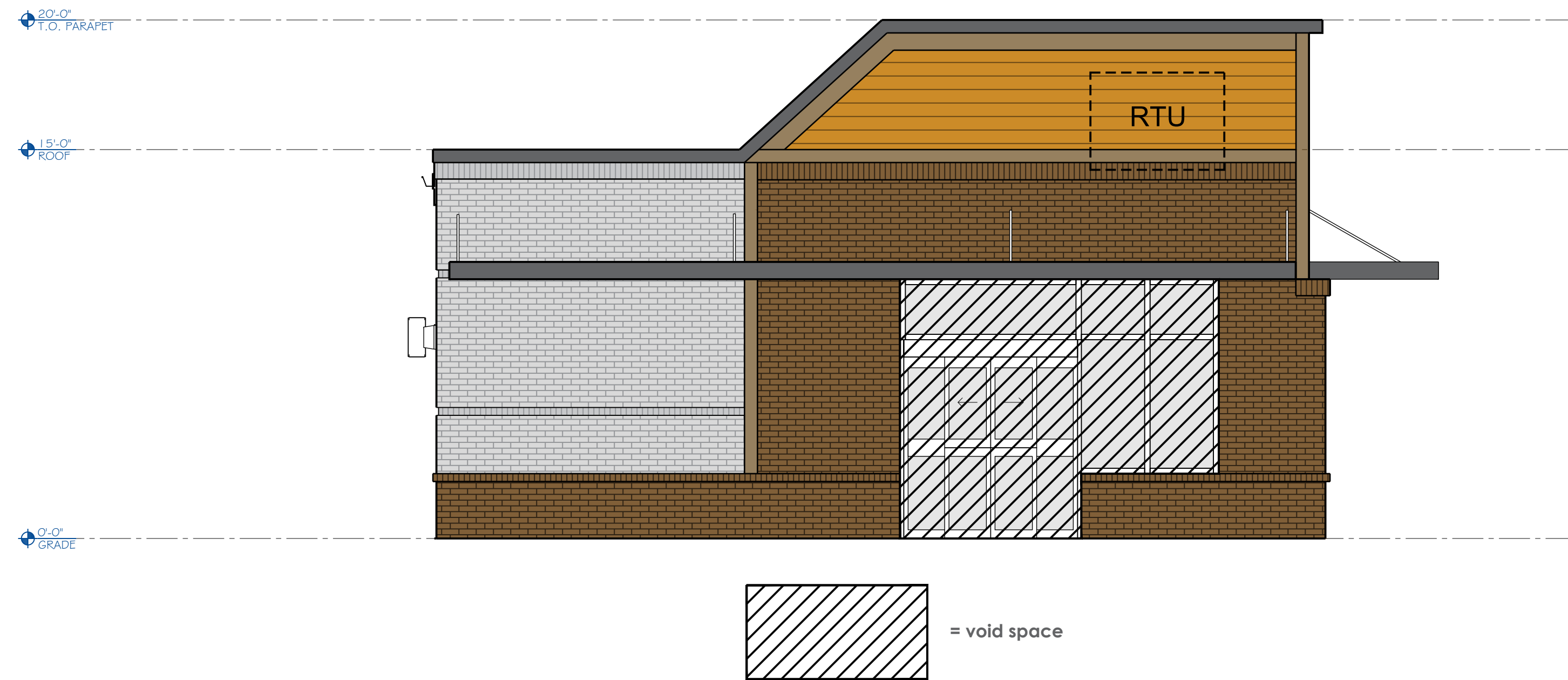
VOID SPACE CALCULATIONS

MATERIAL	SQUARE FOOTAGE	PERCENTAGE
SOLID	607 SF	100.0%
VOID	0 SF	0.0%
TOTAL	607 SF	100%



VOID SPACE CALCULATIONS

MATERIAL	SQUARE FOOTAGE	PERCENTAGE
SOLID	258 SF	91.5%
VOID	24 SF	8.5%
TOTAL	282 SF	100%



VOID SPACE CALCULATIONS

MATERIAL	SQUARE FOOTAGE	PERCENTAGE
SOLID	501 SF	82.0%
VOID	110 SF	18.0%
TOTAL	611 SF	100%

void calculations

MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

November 19, 2025

PROJECT PLANNER: Stephen Anthony

5.i. Robert Luther, Resubdivision of Lot 1 [2025-2087] final plat for 3 lots on 1.13 acres zoned RS-10 located along Dill Lane and Horncastle Drive, BNA Homes developer.

This is a final plat for the resubdivision of Robert Luther, Lot 1. The property is zoned RS-10. The purpose of this final plat is to subdivide Lot 1 into 3 lots. Staff recommends that any approval of this final plat be made subject to all staff comments.

Staff Comments

Development Services – Planning

Stephen Anthony, 615-893-6441, santhony@murfreesborotn.gov

1. Print the name and title of the person who will be signing as the owner.
2. All accessory structures that are to be physically removed from the property should be removed from the plat. In addition, any such accessory structure that crosses a proposed property line or will not comply with setbacks, must be removed prior to the recording of this plat and staff must visually confirm that they have been removed prior to the signing of the plat.

Development Services – Engineering

Lee Holliman, 615-893-6441, lholliman@murfreesborotn.gov

1. A surveyor's signature must be included to finalize the plat.
2. Remove all clouding prior to finalizing the plat.

Development Services – Landscaping

Brad Barbee, 615-893-6441, bbarbee@murfreesborotn.gov

1. No Comments

Building and Codes Department

Brian Hardison, 615-893-3750, bhardison@murfreesborotn.gov

1. No Comments

Signage (Building and Codes)

Teresa Stevens, 615-893-3750 tstevens@murfreesborotn.gov

1. No Comments

Consolidated Utility District

Will Steele, 615-225-3313, [wsteele@cudrc.com](mailto:wsteele@ cudrc.com)

1. Submit plat directly to CUDengineering@cudrc.com for further review and comment.

Middle Tennessee Electric Membership Corporation

Ben Martin, 615-494-1621, murfreesborocity.engineering@mte.com

1. No comments.

Murfreesboro Fire and Rescue Department

Brian Lowe, 615-893-1422, blowe@murfreesborotn.gov

1. No Comments.

Murfreesboro Water Resources Department

Ashley Mallela, 615-848-3200, amallela@murfreesborotn.gov

1. Due to sewer services needing to be installed for all 3 lots, water and sewer connection fees must be paid prior to the plat being signed. Contact Michele Pinkston at (615) 848-3200 to request the fee worksheet for 626 Dill Ln.
2. Existing septic tank and lines to be filled/removed are not currently shown on the plat. Confirm whether it must be shown here or not. May also require TDEC sign off.

Informational and Procedural Comments**Development Services – Planning**

Stephen Anthony, 615-893-6441, santhony@murfreesborotn.gov

1. No Comments

Development Services – Engineering

Lee Holliman 615-893-6441 lholliman@murfreesborotn.gov

1. Prior to submitting the final plat to the Planning Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
2. Prior to submitting the final plat to the Planning Department for signatures, a subdivision surety for roads and drainage must be submitted in accordance with the City's subdivision regulations.

Development Services – Landscaping

Brad Barbee, 615-893-6441, bbarbee@murfreesborotn.gov

1. No Comments

Building and Codes Department

Brian Hardison, 615-893-3750, bhardison@murfreesborotn.gov

1. No Comments

Signage (Building and Codes)

Teresa Stevens, 615-893-3750, tstevens@murfreesborotn.gov

1. The Planning Commission does not approve signage. Any signage that is shown on exterior building elevations, renderings, or site plans are not approved when those plans are reviewed as a function of the site plan and plat review processes.
2. Sign permits and reviews are a separate approval process, please reach out to Sign Administrator, Teresa Stevens at tstevens@murfreesborotn.gov for additional information.
3. Sign reviews can include temporary signs, attached signs, and ground signs. Strip lighting that is placed under an eave and outline lighting placed on the exterior of a building or canopy may be considered signs and require a separate review as well.
4. For proposed flagpole(s), the flagpole(s) shall be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for the flagpole(s) are established in the Sign Ordinance.
5. Any ground sign or freestanding wall sign (monument sign) to be located within a public utility or drainage easement shall have a competed and recorded City of Murfreesboro revocable license agreement with easement holders.
6. Any site and building signage installed prior to issuance of Certificate of Occupancy must have a sign permit issued. Any signs installed without a sign permit will delay your Certificate of Occupancy.
7. Proposed site signage to be installed shall be shown on utility and site plans. Proposed building signage shall be shown on elevation drawings.

Consolidated Utility District

Will Steele, 615-225-3313, [wsteele@cudrc.com](mailto:wsteele@ cudrc.com)

- A. Submit plat directly to CUDengineering@cudrc.com for further review and comment.

Middle Tennessee Electric Membership Corporation

Ben Martin, 615-494-1621, murfreesborocity.engineering@mte.com

1. No comments.

Murfreesboro Fire and Rescue Department

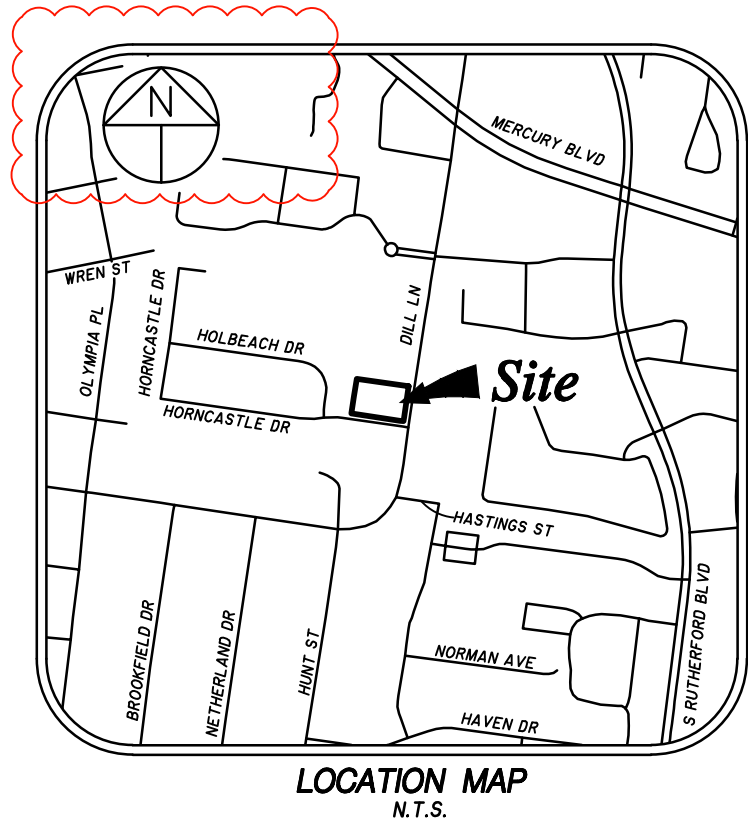
Brian Lowe, 615-893-1422, blowe@murfreesborotn.gov

1. No Comments

Murfreesboro Water Resources Department

David Pendley, 615-848-3200, dpendley@murfreesborotn.gov

1. Submit Final Plat to MWRD for review. Prior to sending, field-locate, survey, and include on the plat any newly installed and/or existing water/sewer/repurified water mains, service stubs, meters, and cleanouts (appurtenances). This plat will be overlaid into GIS to check easements and whether the appurtenances are within the easements.



CERTIFICATE OF ACCURACY

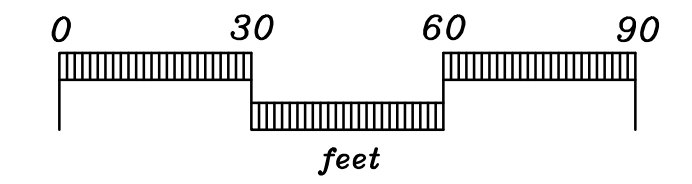
I HEREBY CERTIFY THAT THIS "CATEGORY IV" SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE CURRENT STANDARDS AND APPLICATIONS SET BY RULE 0820-03-07 OF THE TENNESSEE BOARD OF EXAMINERS FOR LAND SURVEYORS. THE SURVEY WAS PERFORMED USING DUAL FREQUENCY REAL TIME KINEMATICS (RTK) GLOBAL POSITIONING SYSTEM (GPS), AND THE HORIZONTAL AND VERTICAL POSITIONAL ACCURACY DOES NOT EXCEED 10.05' BASED ON A 95% CONFIDENCE LEVEL. SURVEY DATE: 9-2024 DATUM: NAD 83 (2011), EPOCH 2010 GEOD MODEL I28 COMBINED SCALE FACTOR: 0.999980563243 (GROUND TO GRID). I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON TO THE SPECIFICATION OF THE CITY ENGINEER

DATE _____ REGISTERED SURVEYOR _____
 TENN. R.L.S. No. _____

CERTIFICATE FOR APPROVAL OF WATER SYSTEMS
 CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY WATER SERVICE JURISDICTION

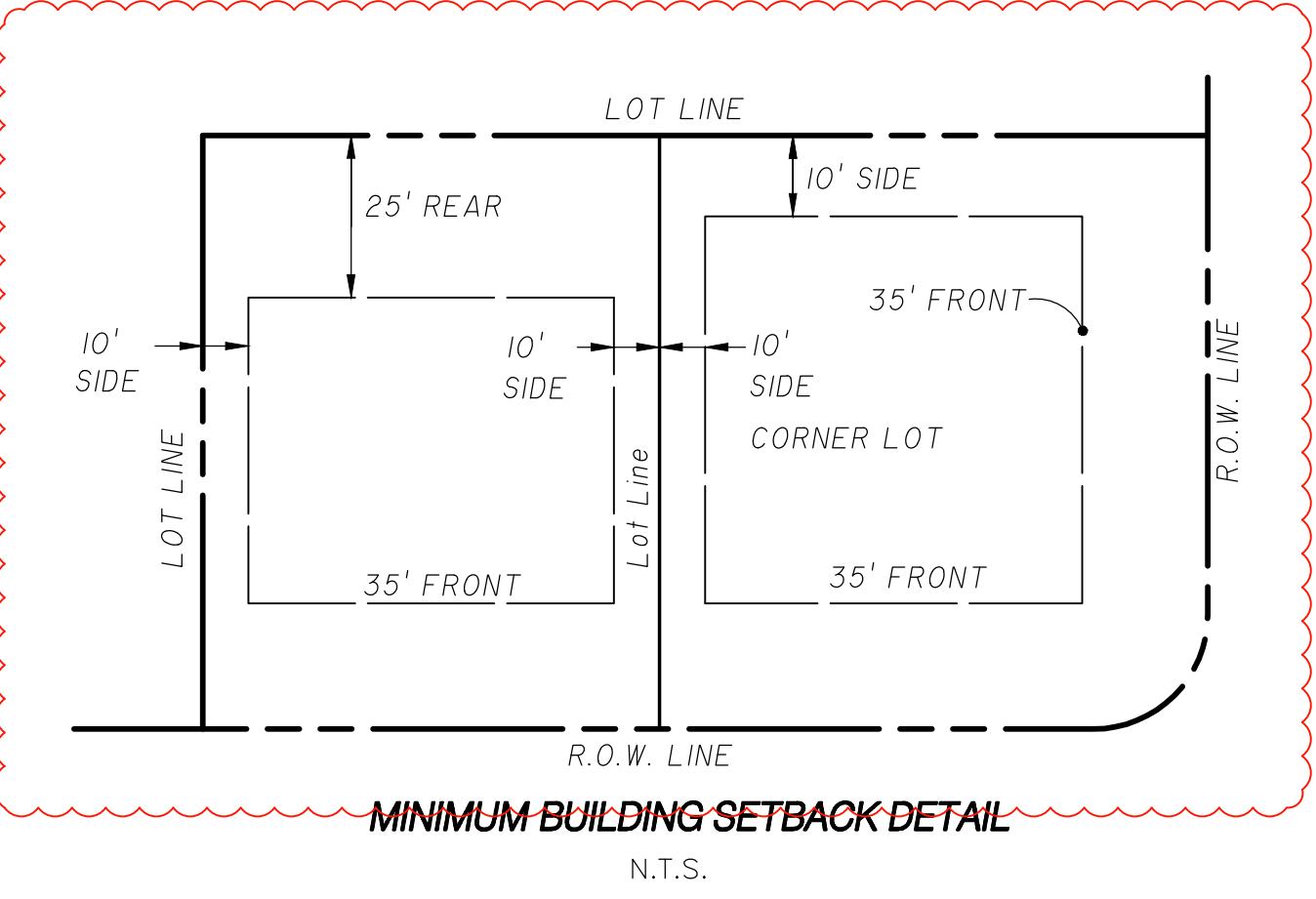
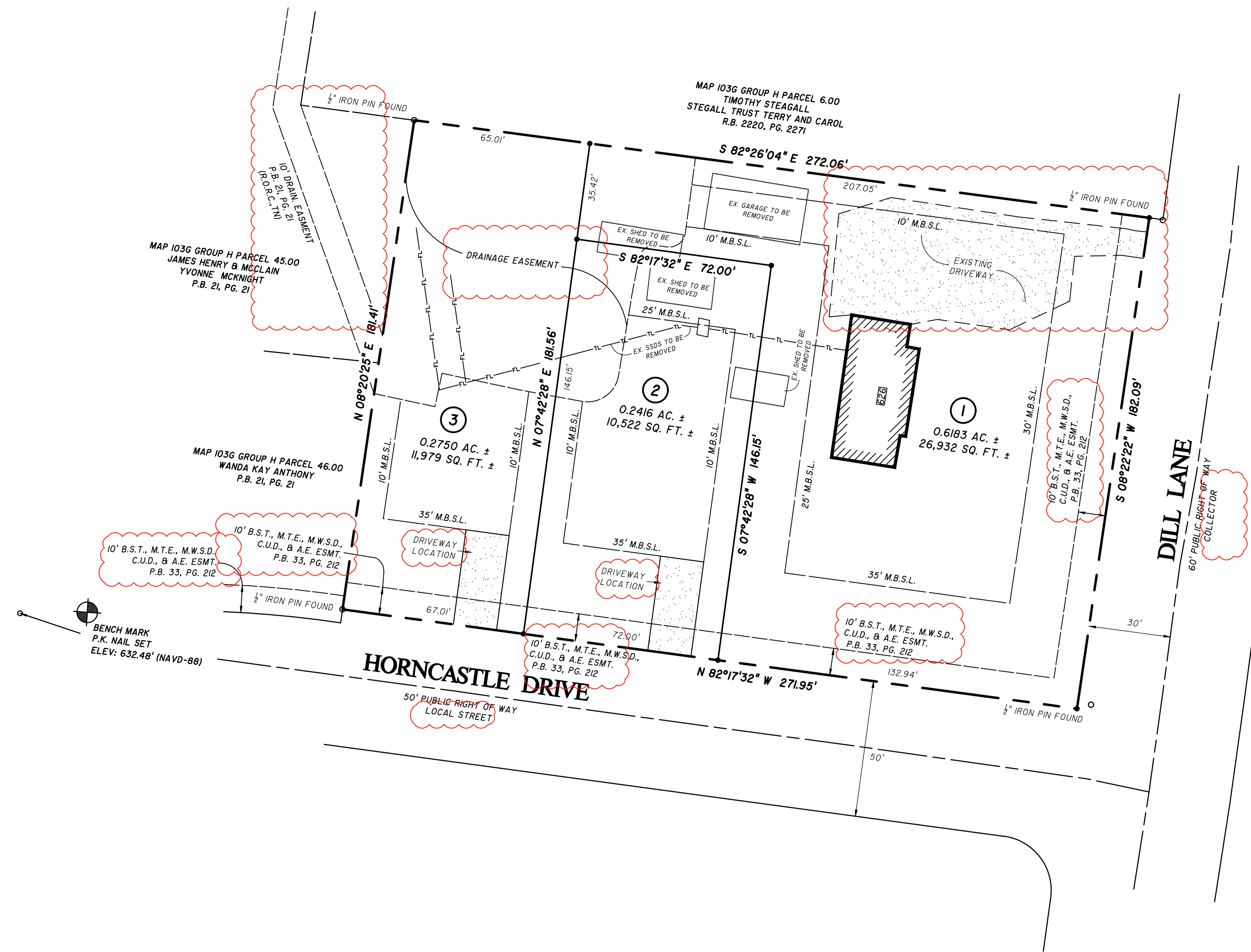
I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS, OR THE SPECIFICATIONS OF THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY IF THEY ARE MORE STRINGENT, AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY TO ASSURE COMPLETION OF SAME.

DATE _____ CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY OFFICIAL _____



GENERAL NOTES

- THE PURPOSE OF THIS PLAT IS TO CREATE 3 LOTS OF RECORD FROM ONE EXISTING LOT OF RECORD.
- THIS IS A CATEGORY IV SURVEY DONE IN COMPLIANCE WITH THE CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS. THIS SURVEY WAS PERFORMED USING A SURVEY GRADE DUAL FREQUENCY REAL TIME KINEMATICS (RTK) GLOBAL POSITIONING SYSTEM (GPS). BEARINGS SHOWN HEREON ARE BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM OF 1983 DERIVED USING THE T.D.O.T. TENNESSEE GEODETIC REFERENCE NETWORK (TGRN) CONSISTING OF MULTIPLE REFERENCE STATIONS TIED TO NAD83 (1995) (EPOCH 2010), GEOD I28, AND NAVD88. HORIZONTAL AND VERTICAL POSITIONAL ACCURACY DOES NOT EXCEED 10.05' BASED ON A 95% CONFIDENCE LEVEL WITH THE ALLOWABLE TOLERANCE BEING 0.07" + 50.0PPM.
- THIS PROPERTY LIES WITHIN ZONE X, NOT IN A SPECIAL FLOOD HAZARD AREA, AS DETERMINED FROM ELEVATIONS SHOWN ON FEMA FIRM MAPS FOR RUTHERFORD COUNTY, MAP NO. 4749C0280 J, EFFECTIVE DATE MAY 9, 2023.
- ANY MINIMUM FINISHED FLOOR ELEVATION (MIN. FFE) SHOWN INCLUDES THE MAIN BUILDING, GARAGES AND ACCESSORY STRUCTURES.
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. AVAILABILITY AND LOCATION OF UTILITIES SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY.
- NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR, THEREFORE, THIS PROPERTY IS SUBJECT TO THE FINDINGS OF A CURRENT AND ACCURATE TITLE SEARCH.
- SUBJECT PROPERTY IS ZONED RS-10. MINIMUM BUILDING SETBACKS FOR THIS PROPERTY ARE: FRONT = 35' / SIDE = 10' / REAR = 25'.
- THE SOILS MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT; THEREFORE, THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
- IT IS THE RESPONSIBILITY OF EACH LOT BUYER OR BUILDER TO DESIGN AND CONSTRUCT IN ACCORDANCE WITH A SUITABLE GRADING AND DRAINAGE PLAN WHICH WILL CONVEY SURFACE WATER, WITHOUT PONDING IN THE LOT OR UNDER THE BUILDING, FROM THE BUILDING SITE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
- 10FT. PUBLIC UTILITY EASEMENTS AS SHOWN ARE INTENDED FOR NON-EXCLUSIVE USE BY UTILITIES SUCH AS MTE, NATURAL GAS COMPANIES, AT&T, CABLE TELEVISION SERVICES AND OTHERS.
- UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION, AS AN ALTERNATIVE, THE HOME OWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE HOME BUILDER AND/OR HOME OWNER SHALL BE RESPONSIBLE FOR COMPLYING WITH THIS REQUIREMENT.
- THE STREETS IDENTIFIED ON THIS PLAT MAY BE CONSTRUCTED OR RECONSTRUCTED IN THE FUTURE WITHOUT CONSULTATION OR NOTICE TO THE OWNERS OF THE LOTS IN THE SUBDIVISION.
- EASEMENTS IN THE SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN THEM UNTIL SOME FUTURE TIME AND THERE MAY BE NO NOTICE OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THIS CONSTRUCTION.
- THE DEVELOPER IS FINANCIALLY RESPONSIBLE FOR PROVIDING WATER AND SEWER TO EACH LOT.
- DRIVEWAYS SHALL BE LOCATED AND CONSTRUCTED IN ACCORDANCE WITH CITY OF MURFREESBORO STANDARDS TO ENSURE SAFE ACCESS, PROPER DRAINAGE, AND COMPLIANCE WITH APPLICABLE REGULATIONS. ACTUAL WIDTH AND PRECISE LOCATION OF THE DRIVEWAY MAY VARY FROM WHAT IS DEPICTED ON THE PLAT.
- A PLOT PLAN SHALL BE PREPARED BY A LICENSED SURVEYOR, AND DRAWN TO SCALE. THIS PLOT PLAN SHALL BE SUBMITTED WITH EACH BUILDING PERMIT APPLICATION, SHOWING LOT BOUNDARIES, SETBACKS, EASEMENTS, DRIVEWAY LOCATION, UTILITY CONNECTIONS, AND COMPLIANCE WITH ZONING AND SUBDIVISION REGULATIONS. IN ADDITION, A LICENSED SURVEYOR WILL BE REQUIRED TO LAY OUT THE FOOTINGS FOR EACH LOT AND PROVIDE WRITTEN CONFIRMATION TO THE CITY THAT THERE ARE NO ENCROACHMENTS IN ANY EASEMENTS OR SETBACKS.



- LEGEND**
- IRON PIN (FOUND)
 - IRON PIN SET (NEW)
 - ▣ CONC. MONUMENT (FOUND)

THE RECORDING OF THIS PLAT VOIDS, VACATES AND SUPERSEDES THE RECORDING OF LOT 1 ON A FINAL PLAT ENTITLED "FINAL PLAT ROBERT LUTHER ONE LOT SUBDIVISION", AS RECORDED IN PLAT BOOK 33 PAGE 212 R.O.R.C. TN. ALL OTHER INFORMATION ON SAID PLAT INCLUDING RECORDING OF EASEMENTS REMAINS THE SAME.

OWNER INFORMATION
 ZVEZDA I, LLC
 6536 FRANKLIN ROAD
 MURFREESBORO, TENNESSEE, 37128
 P.B. 33, PG. 212
 R.B. 2566, PG. 287
 TAX MAP 1036, GROUP H, PARCEL 7.02

SITE DATA:
 TOTAL AREA = 1.13 ACRES +/-
 NO. OF LOTS = 3
 ZONING = RS-10

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I (AM / WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, UTILITIES THEREIN, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE _____ RECORD BOOK 2566, PAGE 287
 NAME: ZVEZDA I, LLC (PRINT)
 TITLE: _____ (PRINT)

CERTIFICATE OF THE APPROVAL OF STREETS AND DRAINAGE

I HEREBY CERTIFY: (1) THAT STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND STORMWATER QUALITY CONTROLS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE _____ CITY ENGINEER _____

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER
 MIDDLE TENNESSEE ELECTRIC SERVICE JURISDICTION

MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTE) WILL PROVIDE ELECTRIC SERVICE TO THE SUBJECT PROPERTY ACCORDING TO THE NORMAL OPERATING PRACTICES OF MTE AS DEFINED IN THE RULES AND REGULATIONS, BYLAWS, POLICY BULLETINS AND OPERATIONAL BULLETINS OF MTE, AND IN ACCORDANCE WITH THE PLAT APPROVAL CHECKLIST, TREE PLANTING GUIDELINES AND OTHER REGULATIONS CONTAINED ON THE MTE WEBSITE AT MTE.COM (COLLECTIVELY THE "REQUIREMENTS"). NO ELECTRIC SERVICE WILL BE PROVIDED UNTIL MTE'S REQUIREMENTS HAVE BEEN MET AND APPROVED IN WRITING BY AN AUTHORIZED REPRESENTATIVE OF MTE. ANY APPROVAL IS, AT ALL TIMES, CONTINGENT UPON CONTINUING COMPLIANCE WITH MTE'S REQUIREMENTS.

DATE _____ MIDDLE TENNESSEE ELECTRIC _____

CERTIFICATE OF APPROVAL OF WATER SYSTEMS
 CITY OF MURFREESBORO WATER SERVICE JURISDICTION

I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE _____ MURFREESBORO WATER RESOURCES OFFICIAL _____

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA FOR SEWER WORKS; (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME; OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE _____ MURFREESBORO WATER RESOURCES OFFICIAL _____

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE.

DATE _____ PLANNING COMMISSION SECRETARY _____

PLAT BOOK _____, PAGE _____
 TIME OF RECORDING: _____
 DATE OF RECORDING: _____

FINAL PLAT

RE-SUBDIVISION OF LOT ONE OF ROBERT LUTHER SUBDIVISION

CITY OF MURFREESBORO, TENNESSEE
 13th CIVIL DISTRICT OF RUTHERFORD COUNTY

SEC, Inc. SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE

WWW.SEC-CIVIL.COM
 850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
 PHONE (615) 890-7901 • FAX (615) 895-2567

PROJ. # 28170	DATE: 10-9-2025 REV.:	FILE: 25170_6561DILL LANE FPJ	DRAWN BY: JWK	SCALE: 1" = 30'	SHEET 1 OF 1
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MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

November 19, 2025

PROJECT PLANNER: Stephen Anthony

5.j. Evergreen Farms, Resubdivision of Lots 1002A and 1002B [2025-2089] final plat for 1 lot on 3.57 acres zoned PUD located along Saint Andrews Drive, R&R Partnership developer.

This is a final plat for the resubdivision of Evergreen Farms, Lots 1002A and 1002B. The property is zoned PUD. The purpose of this final plat is to resubdivide Lots 1002A and 1002B into 1 lot. Staff recommends that any approval of this final plat be made subject to all staff comments.

Staff Comments

Development Services – Planning

Stephen Anthony, 615-893-6441, santhony@murfreesborotn.gov

1. No Comments

Development Services – Engineering

Lee Holliman, 615-893-6441, lholliman@murfreesborotn.gov

1. A surveyor's signature must be included to finalize the plat.

Development Services – Landscaping

Brad Barbee, 615-893-6441, bbarbee@murfreesborotn.gov

1. No Comments

Building and Codes Department

Brian Hardison, 615-893-3750, bhardison@murfreesborotn.gov

1. No Comments

Signage (Building and Codes)

Teresa Stevens, 615-893-3750 tstevens@murfreesborotn.gov

1. No Comments

Consolidated Utility District

Will Steele, 615-225-3313, wsteele@ cudrc.com

1. Submit plat directly to CUDengineering@cudrc.com for further review and comment.

Middle Tennessee Electric Membership Corporation

Ben Martin, 615-494-1621, murfreesborocity.engineering@mte.com

1. No comments.

Murfreesboro Fire and Rescue Department

Brian Lowe, 615-893-1422, blowe@murfreesborotn.gov

1. No Comments.

Murfreesboro Water Resources Department

David Pendley, 615-848-3200, dpendley@murfreesborotn.gov

1. Submit Final Plat to MWRD for review. Prior to sending, field-locate, survey, and include on the plat any newly installed and/or existing water/sewer/repurified water mains, service stubs, meters, and cleanouts (appurtenances). This plat will be overlaid into GIS to check easements and whether the appurtenances are within the easements.
2. Add note to plat, "The property is within the Overall Creek Assessment District."

Informational and Procedural Comments**Development Services – Planning**

Stephen Anthony, 615-893-6441, santhony@murfreesborotn.gov

1. No Comments

Development Services – Engineering

Lee Holliman 615-893-6441 lholliman@murfreesborotn.gov

1. Prior to submitting the final plat to the Planning Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
2. Prior to submitting the final plat to the Planning Department for signatures, a subdivision surety for roads and drainage must be submitted in accordance with the City's subdivision regulations.

Development Services – Landscaping

Brad Barbee, 615-893-6441, bbarbee@murfreesborotn.gov

1. No Comments

Building and Codes Department

Brian Hardison, 615-893-3750, bhardison@murfreesborotn.gov

1. No Comments

Signage (Building and Codes)

Teresa Stevens, 615-893-3750, tstevens@murfreesborotn.gov

1. The Planning Commission does not approve signage. Any signage that is shown on exterior building elevations, renderings, or site plans are not approved when those plans are reviewed as a function of the site plan and plat review processes.
2. Sign permits and reviews are a separate approval process, please reach out to Sign Administrator, Teresa Stevens at tstevens@murfreesborotn.gov for additional information.
3. Sign reviews can include temporary signs, attached signs, and ground signs. Strip lighting that is placed under an eave and outline lighting placed on the exterior of a building or canopy may be considered signs and require a separate review as well.
4. For proposed flagpole(s), the flagpole(s) shall be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for the flagpole(s) are established in the Sign Ordinance.
5. Any ground sign or freestanding wall sign (monument sign) to be located within a public utility or drainage easement shall have a competed and recorded City of Murfreesboro revocable license agreement with easement holders.
6. Any site and building signage installed prior to issuance of Certificate of Occupancy must have a sign permit issued. Any signs installed without a sign permit will delay your Certificate of Occupancy.
7. Proposed site signage to be installed shall be shown on utility and site plans. Proposed building signage shall be shown on elevation drawings.

Consolidated Utility District

Will Steele, 615-225-3313, wsteele@ cudrc.com

- A. Submit plat directly to CUDengineering@ cudrc.com for further review and comment.

Middle Tennessee Electric Membership Corporation

Ben Martin, 615-494-1621, murfreesborocity.engineering@mte.com

1. No comments.

Murfreesboro Fire and Rescue Department

Brian Lowe, 615-893-1422, blowe@murfreesborotn.gov

1. No Comments

Murfreesboro Water Resources Department

David Pendley, 615-848-3200, dpendley@murfreesborotn.gov

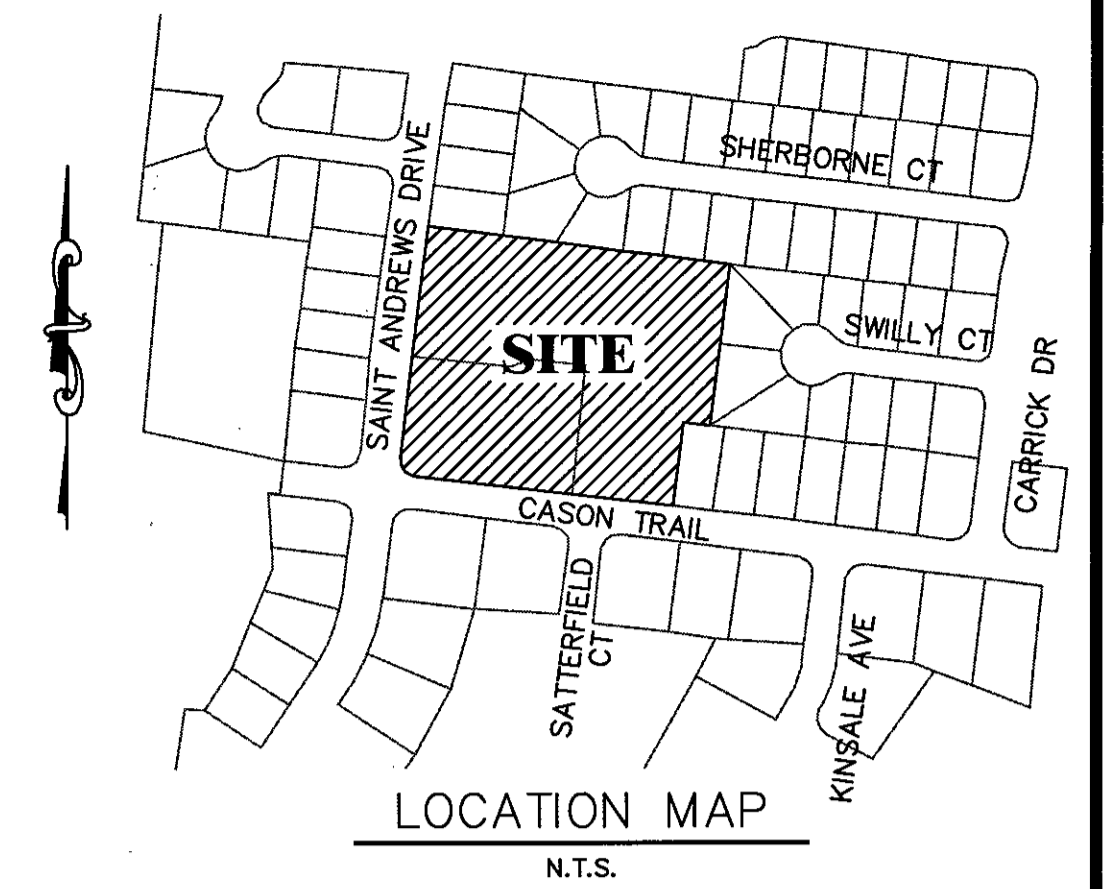
1. Submit Final Plat to MWRD for review. Prior to sending, field-locate, survey, and include on the plat any newly installed and/or existing water/sewer/repurified water mains, service stubs, meters, and cleanouts (appurtenances). This plat will be overlaid into GIS to check easements and whether the appurtenances are within the easements.

NOTES:

1. IN TENNESSEE, IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.
2. UNDERGROUND UTILITIES SHOWN WERE LOCATED USING AVAILABLE ABOVE-GROUND EVIDENCE, AND ALSO FROM INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES. THE EXISTENCE OR NON-EXISTENCE OF THE UTILITIES SHOWN AND ANY OTHER UTILITIES WHICH MAY BE PRESENT ON THIS SITE OR ADJACENT SITES SHOULD BE CONFIRMED WITH THE UTILITY OWNER PRIOR TO COMMENCING ANY WORK.

PLAT NOTES

1. The purpose of this plat is to combine Lots 1002A and 1002B into one lot of record.
2. In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in Excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
3. Underground utilities shown were located using available aboveground evidence, and also from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
4. It is the responsibility of each builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the structure, from his structure to the drainage system constructed by the subdivision developer.
5. Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal. Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways; including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
6. Easements in the subdivision may not have infrastructure constructed within them until some future time. There may be no notice or consultation with the individual lot owners of this construction.
7. Release and Covenant Not to Sue: Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of coating elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
8. The streets identified on the plat may be constructed or reconstructed in the future without consultation or notice to the owners of the lots in the subdivision.



CERTIFICATE OF OWNERSHIP AND DEDICATION
 I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks and other open spaces to public or private use as noted.

Date _____ R&R Partnership, owner (Nick Patel)
 Record Book 1412, Page 2378
 Tax Map 101J, "F", Parcel 1.00

Date _____ R&R Partnership, owner (Nick Patel)
 Record Book 1412, Page 2378
 Tax Map 101J, "F", Parcel 1.01

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS
 I hereby certify that (1) the sewer lines and appurtenances for the sewer system of the subdivision shown hereon have been installed in accordance with city codes and specifications and the requirements of the Tennessee Department of Environment and Conservation, Design Criteria for Sewage Works; (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same; or (3) that a subsurface sewage system will be permitted subject to the approval of the Rutherford County Health Department.

Date _____ Murfreesboro Water Resources Official

Certificate of Approval for Recording
 I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for the City of Murfreesboro, Tennessee with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the office of the Rutherford County Register Of Deeds provided that it is so recorded within one year of this date.

Date _____ Planning Commission Secretary

Certificate of Approval of Streets and Drainage
 I hereby certify that (1) the streets, drainage structures, drainage improvements, and stormwater quality controls for the subdivision shown hereon have been installed in accordance with city specifications, or (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same.

Date _____ City Engineer

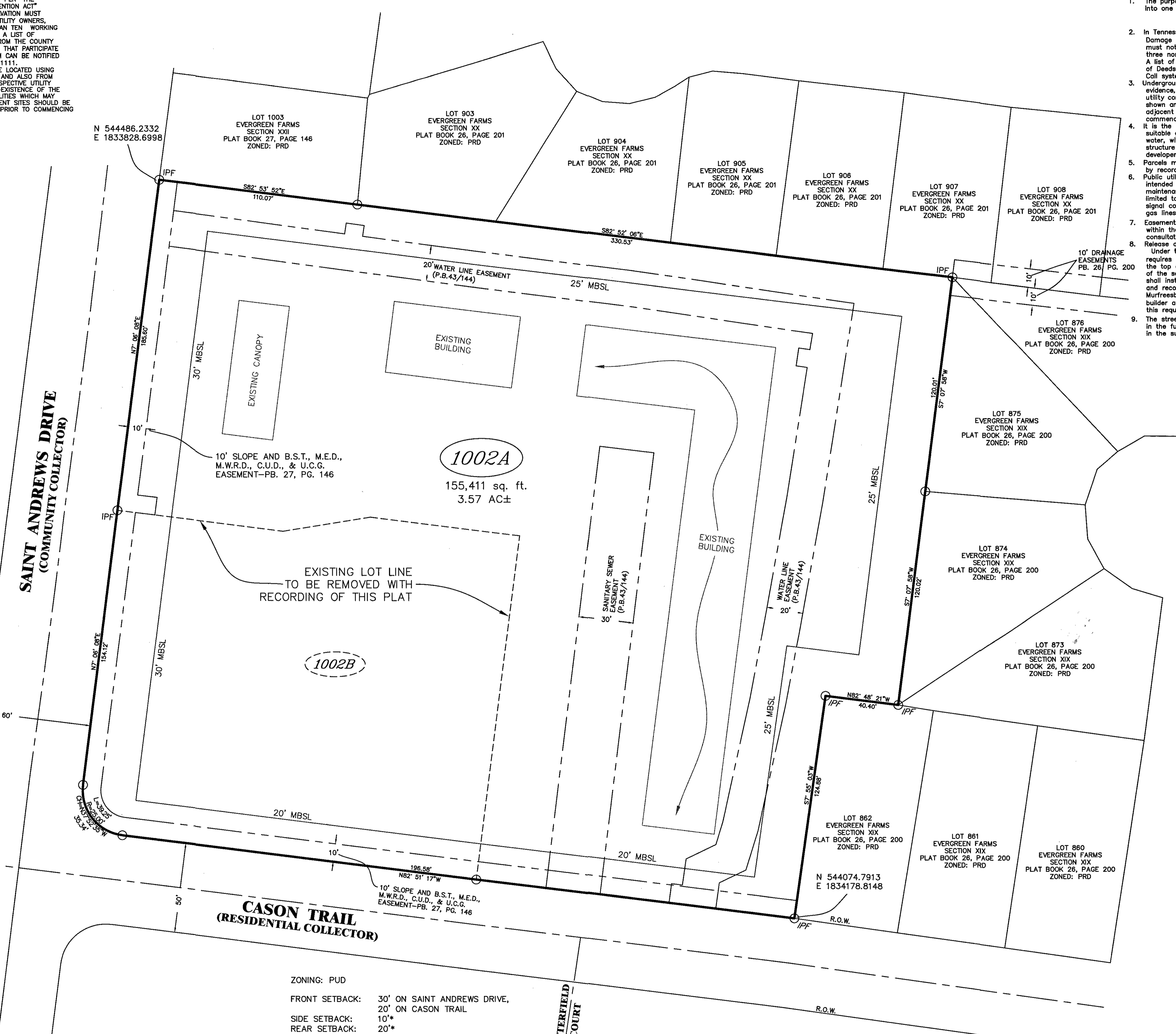
CERTIFICATE OF APPROVAL OF WATER SYSTEMS
Certificate of Approval of Water Systems Located in the Water Service Jurisdiction of Consolidated Utility District of Rutherford County
 I hereby certify that: (1) the water lines and appurtenances for the water system of the subdivision shown hereon have been installed in accordance with city codes and specifications, or the specifications of the Consolidated Utility District of Rutherford County if they are more stringent, and the Tennessee Department of Environment and Conservation, Community Public Water Systems Design Criteria, or (2) that a Surety for these improvements has been posted with the Consolidated Utility District of Rutherford County to assure completion of same.

Date _____ Consolidated Utility District Official

Certificate of Approval for Electric Power in the Electric Service Jurisdiction of Middle Tennessee Electric Membership Corporation
 Middle Tennessee Electric Membership Corporation (MTEMC) will provide electric service to the subject property according to the normal operating practices of MTEMC as defined in the rules and regulations, bylaws, policy bulletins and operational bulletins of MTEMC, and in accordance with the plat approval checklist, tree planting guidelines and other regulations contained on the MTEMC website at www.mtemc.com (collectively the "Requirements"). No electric service will be provided until MTEMC's Requirements have been met and approved in writing by an authorized representative of MTEMC. Any approval is, at all times, contingent upon continuing compliance with MTEMC's Requirements.

Date _____ Middle Tennessee Electric Membership Corporation

DATE OF RECORDING: _____
 TIME OF RECORDING: _____
 PLAT BOOK: _____, PAGE: _____



ZONING: PUD
 FRONT SETBACK: 30' ON SAINT ANDREWS DRIVE,
 20' ON CASON TRAIL
 SIDE SETBACK: 10'*
 REAR SETBACK: 20'*

*THE MINIMUM SIDE YARD OR REAR YARD SETBACK SHALL BE AS SPECIFIED UNLESS THE PROPERTY ABUTS PROPERTY IN THE RS, RD, RS-A, OR PRD CLASSIFICATION OR THE RESIDENTIAL PORTION OF THE LAND ZONED IN THE PUD CLASSIFICATION, IN WHICH CASE THE MINIMUM SETBACK SHALL BE TWENTY-FIVE FEET FROM THE COMMON PROPERTY LINE OF THE PROPERTY IN RS, RD, RS-A, OR PRD CLASSIFICATION OR THE RESIDENTIAL PORTION OF LAND ZONED IN THE PUD CLASSIFICATION.

NOTE: RECORDATION OF THIS PLAT VOIDS AND VACATES ALL MATTERS PERTAINING TO LOTS 1002A AND 1002B,, EXCEPT FOR THE RECORDING OF EASEMENTS, AS RECORDED IN PLAT BOOK 43, PAGE 144, R.O.R.C., TENNESSEE.

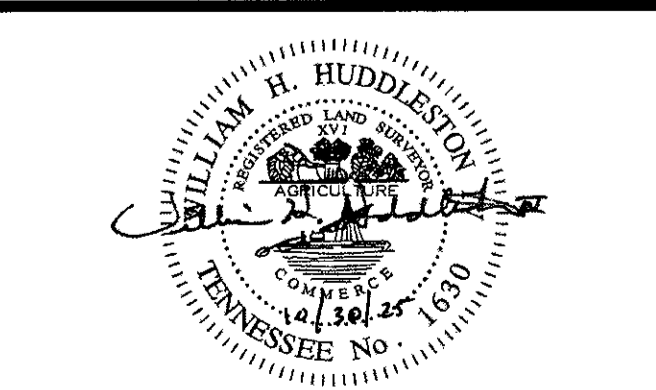
THIS PROPERTY IS WITHIN THE OVERALL CREEK ASSESSMENT DISTRICT.

TAX MAP 101J, "F", PARCELS 1.00 & 1.01
 OWNER: R&R PARTNERSHIP, OWNER (NICK PATEL)
 ADDRESS: 730A MIDDLE TENNESSEE BOULEVARD SUITE 16 MURFREESBORO, TN 37129

FLOOD MAP PANEL: 470168 0255 J ZONE: X
 FLOOD MAP DATED: MAY 9, 2023

- GLOBAL POSITION SYSTEM SURVEY NOTES**
1. For boundary and topographic aspects of this survey, RTK positioning system (GPS) survey equipment: TOPCON HiPer V-Model #10137-04 (Dual frequency). The GPS portion of this survey was performed using RTK (Real-Time Kinematic) surveying methods. Topographic features shown were obtained by using the TDOT CORS station TN3A for horizontal and for vertical control.
 2. The relative positional accuracy is stated in the Category "IV" survey certification located above the surveyor's seal on this drawing.
 3. The date that fieldwork was performed for this survey were: 09/28/25.
 4. The datum(s) for the TDOT CORS Network Station 3A that was used:
 HORIZ.: NAD83(2011) EPOCH 2010
 VERT.: NAVD 1988
 5. Fixed Control Station designation with positional data:
 TDOT CORS STATION-TN3A
 STATE PLANE (TN 4100-US SURVEY FT.)- NORTHING: 553,312.4528
 EASTING: 1,860,677.584
 ELEVATION: 650.209 FT.
 6. Geoid model used- GEOID03
 7. Combined grid factors for TDOT CORS Station TN3A:
 0.999921865 (STATE PLANE-TN 4100-US SURVEY FT.)

I hereby certify that this is a Category "IV" survey and the precision of the GPS portion of this survey (in relative positioning accuracy given at the 95% confidence level) is 1:10,000 as shown hereon and that this survey was done in compliance with current Tennessee Minimum Standards of Practice for Land Surveyors.



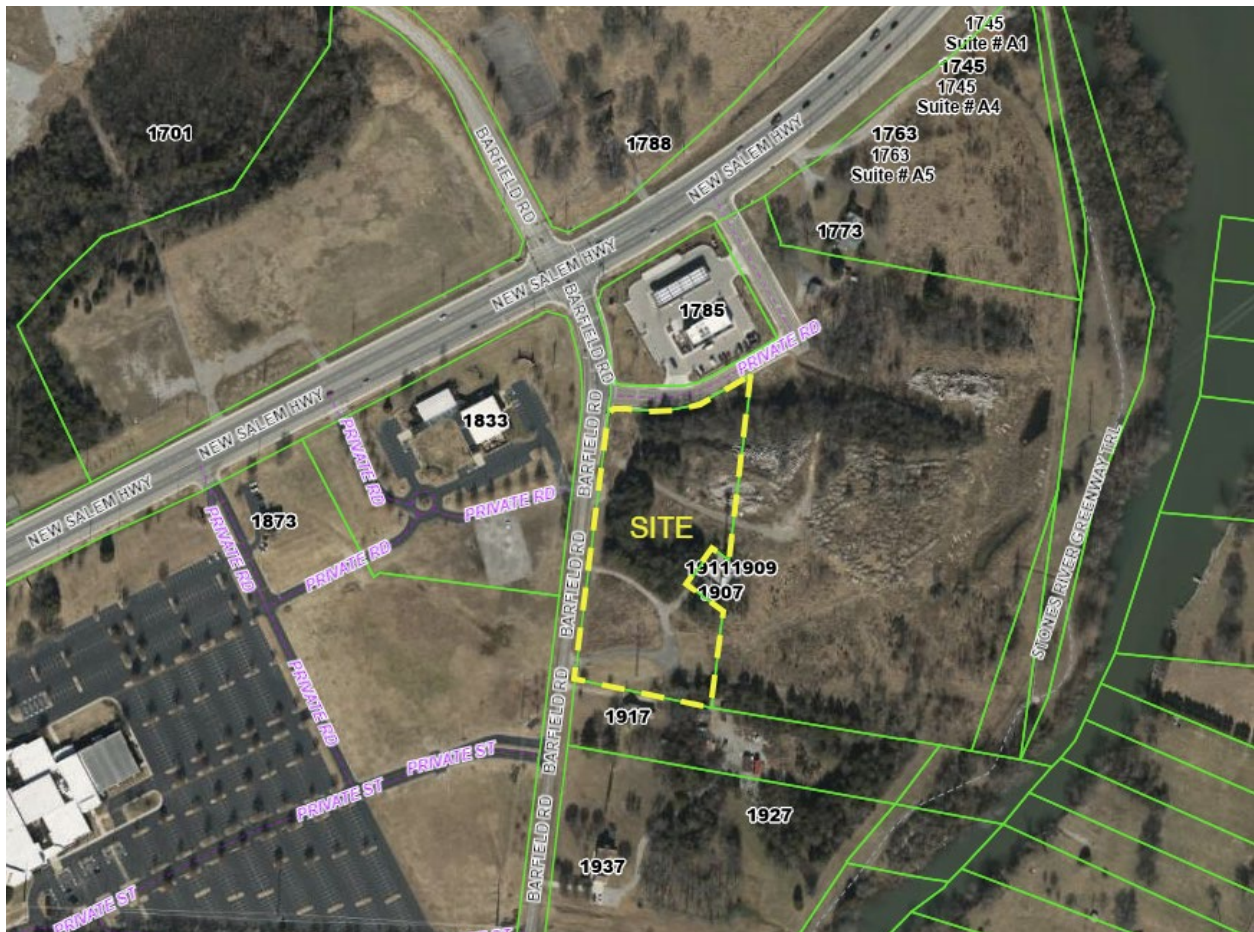
W. H. HUDDLESTON-STEEL
 ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: 615-893-4054 FAX: 615-893-0080

FINAL PLAT
EVERGREEN FARMS
P. U. D. SUBDIVISION
2ND RESUBDIVISION OF LOT 1002
SECTION XXII, PHASE 1
 13TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.
 DATE: OCTOBER, 2025 SCALE 1"=30' SH. 1 OF 1

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
November 19, 2025
PROJECT PLANNER: RICHARD DONOVAN**

5.k. Barfield Road Substation [2025-2083] final plat for 1 lot on 4.38 acres zoned CH located along Barfield Road, Middle Tennessee Electric developer.

This is a final plat review of Barfield Road Substation. The property is zoned CH. The purpose of this plat is to create 1 lot of record, and to create associated easements for drainage, joint access, and utilities, as shown. Staff recommends that any approval of this final plat be made subject to all staff comments.



Staff Comments

Development Services – Planning

Richard Donovan, 615.893.6441, rdonovan@murfreesborotn.gov

1. No comments.

Development Services – Engineering

Lee Holliman, 615.893.6441, lholliman@murfreesborotn.gov

1. No comments.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

2. No comments.

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No comments.

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

1. No comments.

Consolidated Utility District

Will Steele, 615.225.3313, wsteele@ cudrc.com

1. Plat is currently under review by CUD.

MTE – Middle Tennessee Electric

Ben Martin, 615.494.0428, murfreesborocity.engineering@mtmc.com

1. No comments.

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1. No comments.

Murfreesboro Water Resources Department

David Pendley, 615-848-3200, dpendley@murfreesborotn.gov

1. No comments.

Informational and Procedural Comments

Development Services – Planning

Richard Donovan, 615.893.6441, rdonovan@murfreesborotn.gov

1. This site plan is not affected by the City's Major Transportation Plan.
2. The design engineer needs to coordinate all proposed sidewalk locations with utility providers. Elimination of conflicts is the responsibility of the developer.
3. As a note to the developer, an unkempt site will not be permitted, and if debris is stored in areas outside of the designated storage area, staff will shut down the jobsite.
4. In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case or new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Lee Holliman, 615.893.6441, lholliman@murfreesborotn.gov

1. No comments.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No comments.

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No comments.

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

1. No comments.

Consolidated Utility District

Will Steele, 615.225.3313, wsteele@ cudrc.com

1. No comments.

MTE – Middle Tennessee Electric Membership Corporation

Ben Martin, 615.494.0428, murfreesborocity.engineering@ mtemc.com

1. No comments.

Murfreesboro Fire and Rescue Department

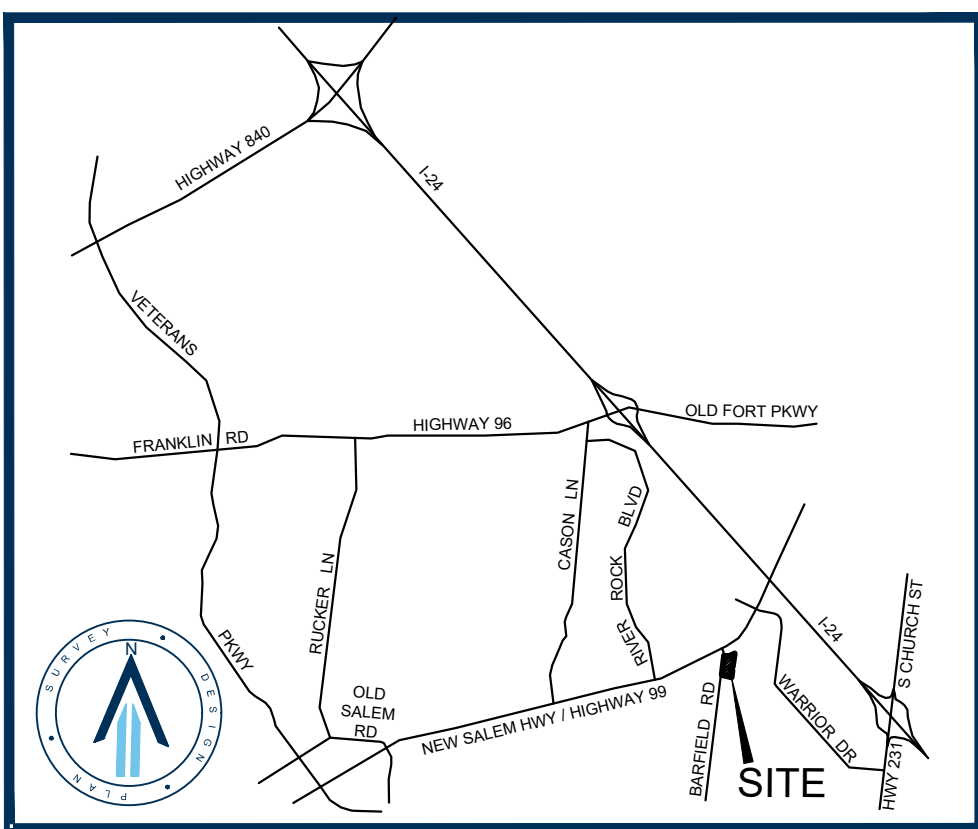
Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1. No comments.

Murfreesboro Water Resources Department

David Pendley, 615.890.0862, dpendley@murfreesborotn.gov

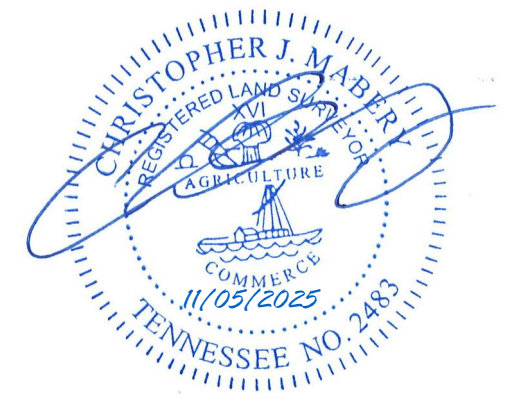
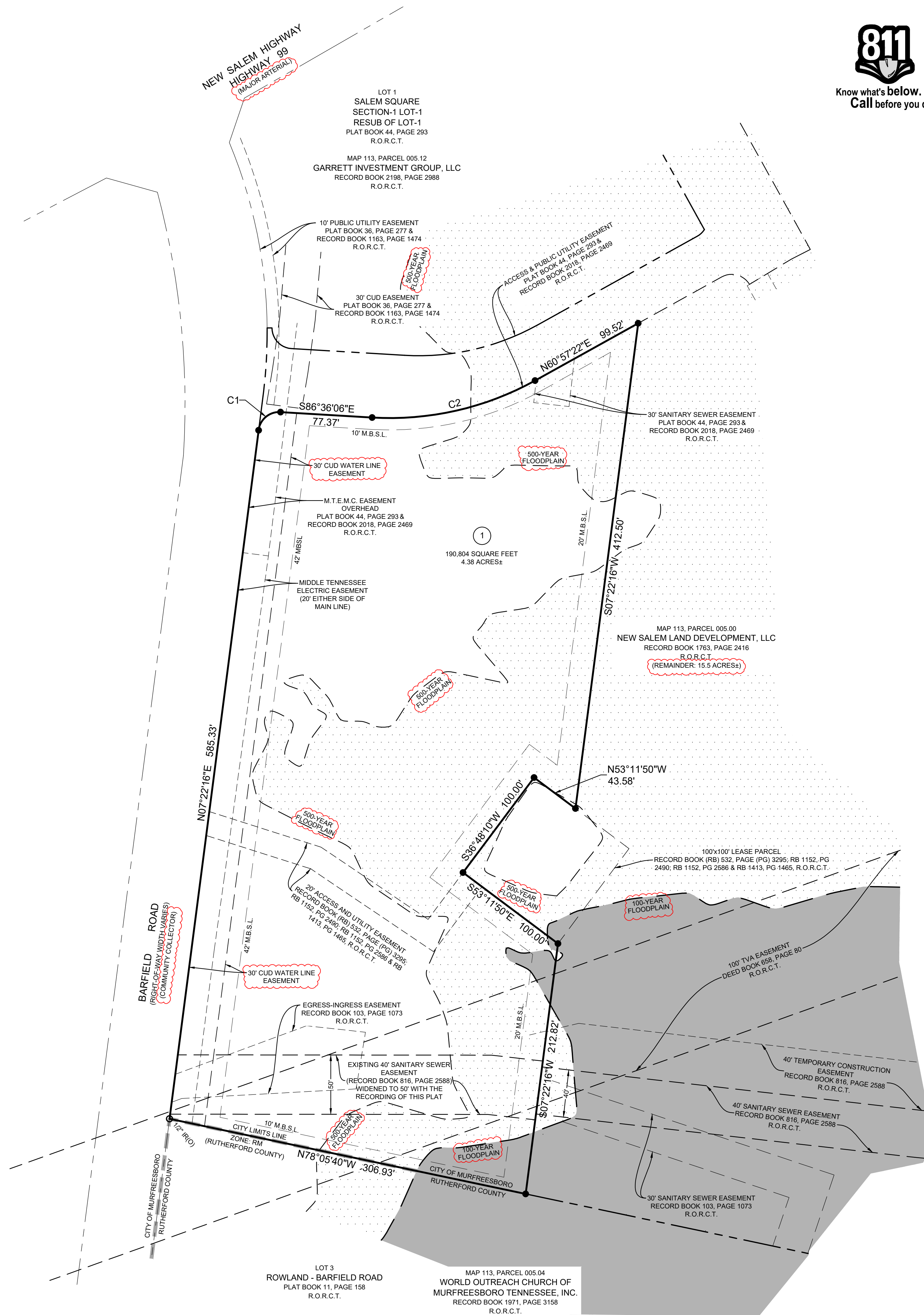
1. No comments.



LOCATION MAP
(NOT TO SCALE)

GENERAL NOTES

- THE PURPOSE OF THIS PLAT IS TO CREATE ONE LOT OF RECORD FROM ONE PARCEL OF LAND, AND TO RECORD EASEMENTS, AS SHOWN.
- BEARINGS SHOWN HEREON ARE BASED ON THE TENNESSEE COORDINATE SYSTEM OF 1983. GPS EQUIPMENT WAS USED TO DETERMINE THE POSITION OF TWO (2) CONTROL POINTS FOR THE SURVEYED PROPERTY TO ESTABLISH AS BASIS FOR BEARINGS FOR THE SURVEY. TYPE OF GPS EQUIPMENT USED: SPECTRA PRECISION SP80. TYPE OF GPS SURVEY: TDOT NETWORK ADJUSTED REAL TIME KINEMATIC. THE AVERAGE POSITIONAL QUALITY IS 0.05".
- SUBJECT PROPERTY IS PARCEL NUMBER 005.13 AS SHOWN ON RUTHERFORD COUNTY PROPERTY MAP NUMBER 113.
- SUBJECT PROPERTY IS THE SAME PROPERTY CONVEYED TO MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION BY COURT ORDERS OF RECORD IN RECORD BOOK 2448, PAGE 3929, RECORD BOOK 2448, PAGE 3937, AND RECORD BOOK 2546, PAGE 2227, REGISTER'S OFFICE FOR RUTHERFORD COUNTY, TENNESSEE.
- THIS PROPERTY IS CURRENTLY ZONED CH - (COMMERCIAL HIGHWAY), SETBACKS: FRONT=42', SIDE =10', REAR=20'
- BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN FLOOD ZONES "AE", "X" (OTHER AREAS OF FLOOD HAZARD) AND "X" (OTHER AREAS), AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47149C020601, WITH AN EFFECTIVE DATE OF MAY 9, 2023, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT; COMMUNITY NO. 470168, PANEL NO. 0260, SUFFIX J, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "AE" UNDER "SPECIAL FLOOD HAZARD AREAS" AS WITH BFE OR DEPTH. SAID MAP DEFINES ZONE "X" (OTHER AREAS OF FLOOD HAZARD) UNDER "OTHER AREAS OF FLOOD HAZARD" AS 0.2% ANNUAL CHANCE FLOOD HAZARD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS OF LESS THAN 1 SQUARE MILE. SAID MAP DEFINES ZONE "X" (OTHER AREAS) UNDER "OTHER AREAS" AS AREAS OF MINIMAL FLOOD HAZARD.
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY IN TENNESSEE IT IS A REQUIREMENT, PER THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT, THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN (3) THREE NOR MORE THAN (10) TEN WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT, TENNESSEE ONE CALL 811.
- EASEMENTS IN THE SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN THEM UNTIL SOME FUTURE TIME AND THERE MAY BE NO NOTICE OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THIS CONSTRUCTION.
- UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION. AS AN ALTERNATIVE, THE HOMEOWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE BUILDER AND/OR HOMEOWNER SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THIS REQUIREMENT.
- CONSOLIDATED UTILITY DISTRICT MAY REQUIRE AN AMENDMENT PLAT OR SURVEY METES AND BOUNDS DESCRIPTION WITH EXHIBIT TO DEDICATE ANY NECESSARY EASEMENTS WITH THE DEVELOPMENT ONCE CONSTRUCTION IS COMPLETE.



SITE DATA TABLE

LOT 1 AREA: 190,804 SQUARE FEET OR 4.38 ACRES±

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHORD BRG.
C1	17.64'	26.49'	86°01'38"	16.46'	24.07'	N50°23'05"E
C2	253.01'	142.78'	32°19'58"	73.35'	140.89'	N77°13'54"E

OWNER
MIDDLE TENNESSEE ELECTRIC
KEITH THOMASON
555 NEW SALEM HIGHWAY
MURFREESBORO, TN 37129
(615) 494-1528

DEVELOPER
MIDDLE TENNESSEE ELECTRIC
LARRY TAYLOR
555 NEW SALEM HIGHWAY
MURFREESBORO, TN 37129
(615) 494-1507

SURVEYOR
RAGAN-SMITH ASSOCIATES, INC.
CHRIS MABERY, RLS #2483
1500 MEDICAL CENTER PKWY., SUITE 2J
MURFREESBORO, TENNESSEE 37129
(615)-546-6050

WATER SERVICE
CONSOLIDATED UTILITY DISTRICT
709 NEW SALEM HIGHWAY
MURFREESBORO, TENNESSEE 37129
(615)-893-7225

RECORDING INFORMATION

DATE OF RECORDING: _____
 TIME OF RECORDING: _____
 PLAT BOOK/RECORD BOOK: _____
 PAGE: _____

- LEGEND**
- (R) IRON ROD (OLD)
 - IRON ROD (NEW)
(1/2" x 18" W/40# STAMPED
"RAGAN SMITH ASSOC")
 - M.B.S.L. MINIMUM BUILDING SETBACK LINE
 - R.O.R.C.T. REGISTER'S OFFICE FOR RUTHERFORD COUNTY, TENNESSEE
 - FEMA ZONE X (OTHER AREAS OF FLOOD HAZARD)
 - FEMA ZONE AE

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT AND ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, AND UTILITIES THEREIN, PARKS AND OTHER OPEN SPACES TO PUBLIC AND PRIVATE USE AS NOTED.

RECORD BOOK 2448, PAGES 3929 & 3937 AND RECORD BOOK 2546, PAGE 2227, R.O.R.C.T.
MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

KEITH THOMASON, VICE PRESIDENT OF ENGINEERING
MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS GREATER THAN 1:10000 AS SHOWN HEREON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON TO THE SPECIFICATIONS OF THE CITY ENGINEER.

RAGAN-SMITH ASSOCIATES, LLC
CHRISTOPHER J. MABERY, RLS NO. 3483
DATE: 11/05/2025

CERTIFICATE OF APPROVAL - REPURIFIED WATER SYSTEM

I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

MURFREESBORO WATER RESOURCES OFFICIAL _____ DATE _____

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND THE REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION DESIGN CRITERIA FOR SEWAGE WORKS, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME, OR (3) THAT A SURETY FOR THESE IMPROVEMENTS WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

MURFREESBORO WATER RESOURCES OFFICIAL _____ DATE _____

CERTIFICATE OF APPROVAL OF WATER SYSTEMS

I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY TO ASSURE COMPLETION OF SAME.

CONSOLIDATED UTILITY DISTRICT OFFICIAL _____ DATE _____

CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE

I HEREBY CERTIFY THAT (1) THE STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND STORMWATER QUALITY CONTROLS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

CITY ENGINEER _____ DATE _____

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER IN THE ELECTRIC SERVICE JURISDICTION OF MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTEMC) WILL PROVIDE ELECTRIC SERVICE TO THE SUBJECT PROPERTY ACCORDING TO THE NORMAL OPERATING PRACTICES OF MTEMC AS DEFINED IN THE RULES AND REGULATIONS, BYLAWS, POLICY BULLETINS AND OPERATIONAL BULLETINS OF MTEMC, AND IN ACCORDANCE WITH THE PLAT APPROVAL CHECKLIST, TREE PLANTING GUIDELINES AND OTHER REGULATIONS CONTAINED ON THE MTEMC WEBSITE AT WWW.MTE.COM (COLLECTIVELY THE "REQUIREMENTS"). NO ELECTRIC SERVICE WILL BE PROVIDED UNTIL MTEMC'S REQUIREMENTS HAVE BEEN MET AND APPROVED IN WRITING BY AN AUTHORIZED REPRESENTATIVE OF MTEMC. ANY APPROVAL IS, AT ALL TIMES, CONTINGENT UPON CONTINUING COMPLIANCE WITH MTEMC'S REQUIREMENTS.

MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION _____ DATE _____

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE.

PLANNING COMMISSION SECRETARY _____ DATE _____

CITY OF MURFREESBORO, RUTHERFORD COUNTY, TENNESSEE

**FINAL PLAT
BARFIELD ROAD
SUBSTATION**

13th CIVIL DISTRICT OF RUTHERFORD COUNTY, CITY OF MURFREESBORO, TENNESSEE

DRAWN BY: BKB SCALE: 1" = 50'

JOB NUMBER: 23-0331

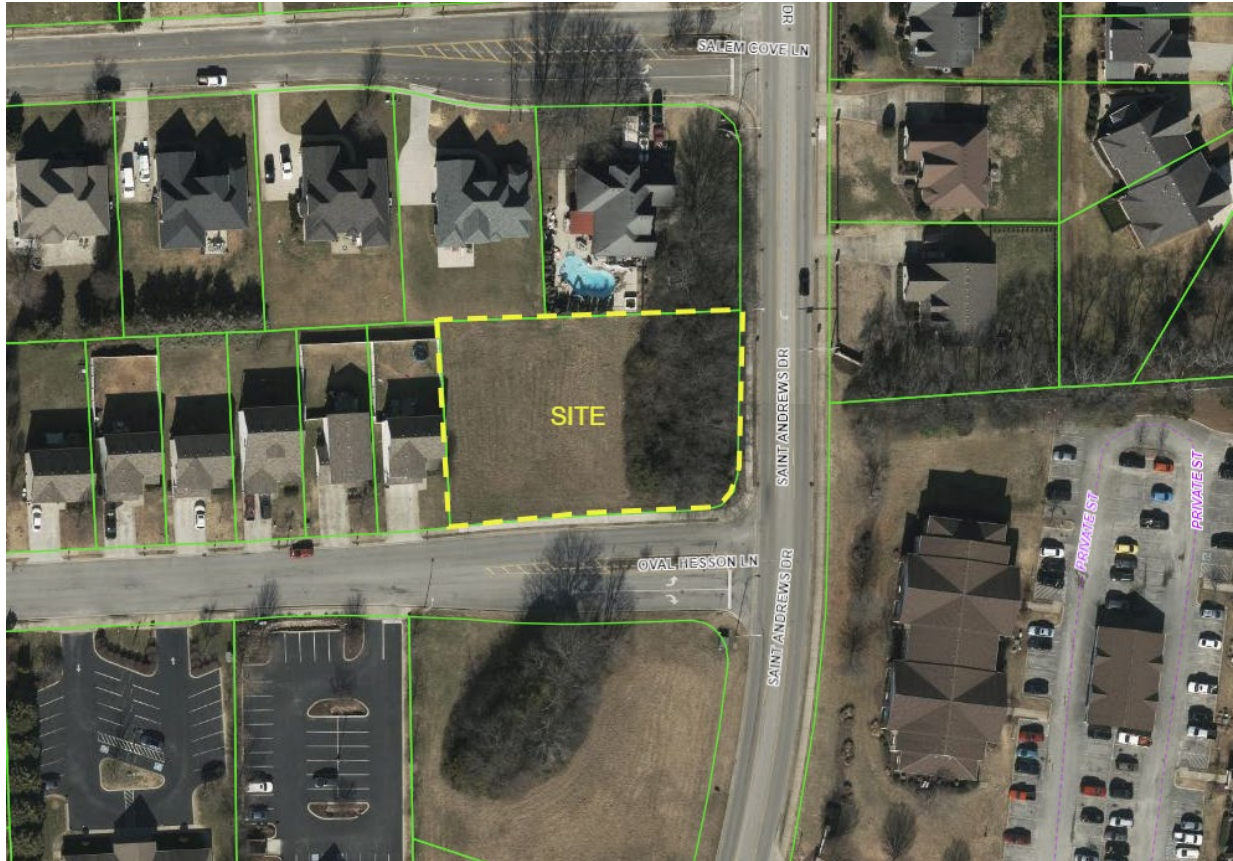
DATE: OCTOBER 16, 2025 REVISED: NOVEMBER 5, 2025



RaganSmith
a Pape-Dawson company

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
NOVEMBER 19, 2025
PROJECT PLANNER: RICHARD DONOVAN**

- 5.I. Salem Glen, Lot 14 [2025-3120] site plan for two 2,560 ft² office buildings on 0.55 acres zoned OG located along Oval Hesson Lane and Saint Andrews Drive, Wayne Belt developer.



Site Summary

This is a site plan review for Salem Glen Lot 14, located on the northwest corner of Saint Andrews Drive and Oval Hesson Lane intersection. The proposed development includes two single-story, 2,560-square-foot office buildings with associated parking, infrastructure, and landscaping, all designed to meet the Zoning Ordinance and Design Guidelines. Primary parking areas will be situated on the south side of the buildings along Oval Hesson Lane, which also provides access to the site.

Following staff's review, the plans appear to meet the minimum requirements of the zoning ordinance, and the design guidelines. The applicant has demonstrated

compliance with parking, landscaping, lighting standards, and architectural standards, as detailed in the review comments. Staff recommends approval of the

Access and Parking

The site offers a single vehicular access to Oval Hesson Lane with no access to Saint Andrews Drive. Chart 4 of the Zoning Ordinance for “office” uses requires 1 space for each 300 square feet. The site is required to provide 17 parking spaces based on the square footage. Below is a table showing the total parking space calculation provided for the site.

Parking		
	Required	Proposed
Standard Parking	17	17
ADA Spaces	1	1
Total	18	18

Landscaping

As depicted on the landscape plan, several trees and species have been utilized on the site to help enhance the building's architecture and screen certain elements. The site includes perimeter yard plantings, parking islands, base of building plantings and required buffer yards between the surrounding residential uses.

Building and Architecture

The architectural standards outlined in the Design Guidelines require that buildings incorporate consistent design elements such as façade treatment, materials, color, and roof design. The proposed buildings is a single-story structure featuring a beige brick water table, with a red brick body and a gable roof establishing the cap of the building. These materials and style extends to all four sides of the building with two porches on the front and a single porch on the side facing Saint Andrews Drive.

Staff Comments

Development Services – Planning

Richard Donovan, 615.893.6441, rdonovan@murfreesborotn.gov

1. Landscaping cannot be placed in the drainage easement along the northern property line. This will require reducing the size of the building south of the easement.
2. Provide void area calculation for each façade. Each façade needs to have 35% void area and blank facades are not permitted.
3. Elevation of trash bin corrals need to be included. Screening wall will need to extend 1 foot above bins and have landscaping. The screening material needs to match the building.
4. Add the following notes to the elevations and site plan:
 - a. Rooftop HVAC and mechanical units must be screened from public view.
 - b. Dumpster screening must extend 1 foot above dumpster.

Development Services – Engineering

Lee Holliman, 615.893.6441, lholliman@murfreesborotn.gov

1. 1 Right-of-way permit and roadway improvements need to be approved by public infrastructure.
2. Landscaping is not to be located within the drainage easement.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. Landscaping cannot be placed in the drainage easement along the northern property line.
2. Revise the landscape plan to utilize the type B buffer design provided on page 342 of the Murfreesboro Zoning Ordinance where RS abuts OG. Proposed utility lines should be shifted to eliminate conflicts.
3. Demonstrate how the required landscaping will be irrigated.

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No Comments.

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

1. No Comments.

Consolidated Utility District

Will Steele, 615.225.3313, wsteele@ cudrc.com

1. CUD review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the

prior-to-permit site plan review process until CUD has issued its formal approval. The plans shall comply with all applicable CUD standards.

MTE – Middle Tennessee Electric

Ben Martin, 615.494.0428, murfreesborocity.engineering@mtemc.com

1. MTE review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until MTE has issued its formal approval. The plans shall comply with all applicable MTE standards.

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1. No Comments.

Murfreesboro Water Resources Department

Anita Heck, 615-848-3200, aheck@murfreesborotn.gov

1. MWRD review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until MWRD has issued its formal approval. The plans shall comply with all applicable MWRD standards.

Informational and Procedural Comments

Development Services – Planning

Richard Donovan, 615.893.6441, rdonovan@murfreesborotn.gov

1. This site plan is not affected by the City's Major Transportation Plan.
2. The design engineer needs to coordinate all proposed sidewalk locations with utility providers. Elimination of conflicts is the responsibility of the developer.
3. As a note to the developer, an unkempt site will not be permitted, and if debris is stored in areas outside of the designated storage area, staff will shut down the jobsite.
4. In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case or new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Lee Holliman, 615.893.6441, lholliman@murfreesborotn.gov

1. A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Engineering Department and must be approved by the city engineer.
2. Prior to a land disturbance permit, provide a stormwater pollution prevention plan (SWPPP) to be reviewed and approved by the City Engineer prior to any permit. Include provisions for erosion and sediment control with details in general compliance with the TDEC Erosion and Sediment Control Handbook Fourth Edition.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No Comments.

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No Comments.

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

1. The Planning Commission does not approve signage. Any signage that is shown on exterior building elevations, renderings, or site plans are not

approved when those plans are reviewed as a function of the site plan and plat review processes.

2. Sign permits and reviews are a separate approval process, please reach out to Sign Administrator, Teresa Stevens at tstevens@murfreesborotn.gov for additional information.
3. Sign reviews can include temporary signs, attached signs, and ground signs. Strip lighting that is placed under an eave and outline lighting placed on the exterior of a building or canopy may be considered signs and require a separate review as well.
4. For proposed flagpole(s), the flagpole(s) shall be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for the flagpole(s) are established in the Sign Ordinance.
5. Any ground sign or freestanding wall sign (monument sign) to be located within a public utility or drainage easement shall have a completed and recorded City of Murfreesboro revocable license agreement with easement holders.
6. Any site and building signage installed prior to issuance of Certificate of Occupancy must have a sign permit issued. Any signs installed without a sign permit will delay your Certificate of Occupancy.
7. Proposed site signage to be installed shall be shown on utility and site plans. Proposed building signage shall be shown on elevation drawings.

Consolidated Utility District

Will Steele, 615.225.3313, wsteele@ cudrc.com

1. No Comments.

MTE – Middle Tennessee Electric Membership Corporation

Ben Martin, 615.494.0428, murfreesborocity.engineering@ mtemc.com

1. No Comments.

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1. Show hydrant.

Murfreesboro Water Resources Department

Anita Heck, 615-848-3200, aheck@murfreesborotn.gov

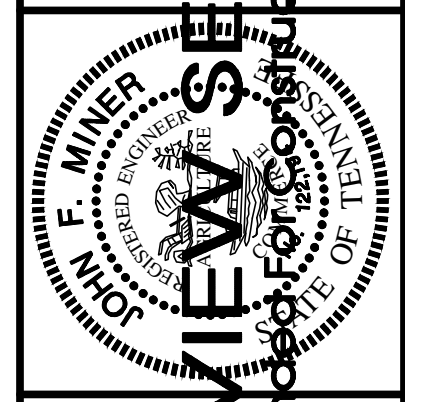
1. No Comments.



Know what's below.
Call before you dig.

SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE
850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: JMINER@SEC-CIVIL.COM FAX: (615) 895-2567
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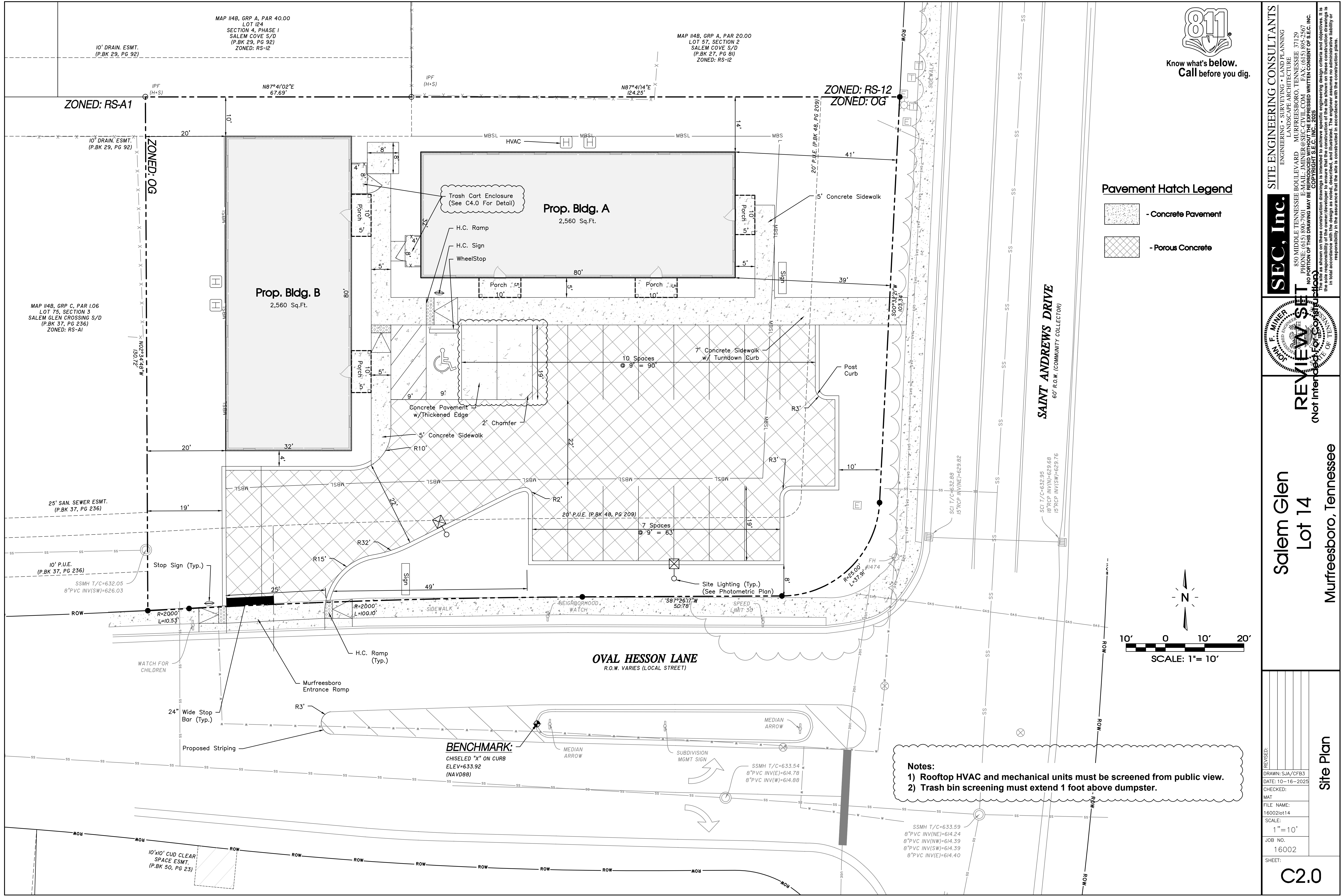


REVIEW SET
(Not Intended for Construction)

Salem Glen Lot 14
Murfreesboro, Tennessee

Site Plan

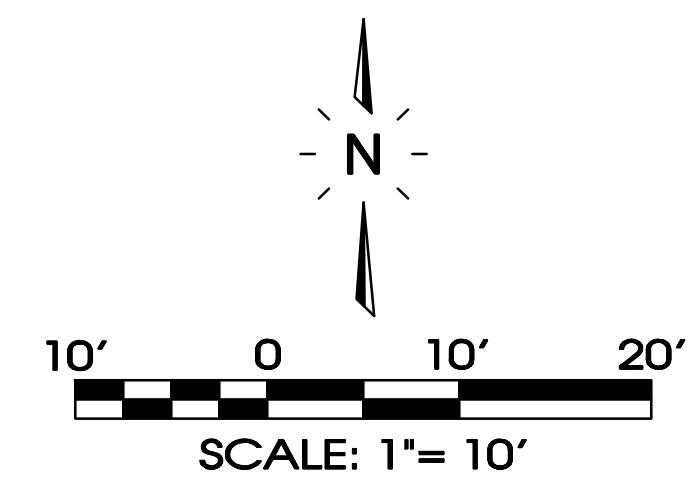
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DRAWN: SJA/CFB3	
DATE: 10-16-2025	
CHECKED:	
MAT	
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SCALE:	1"=10'
JOB NO.	16002
SHEET:	C2.0



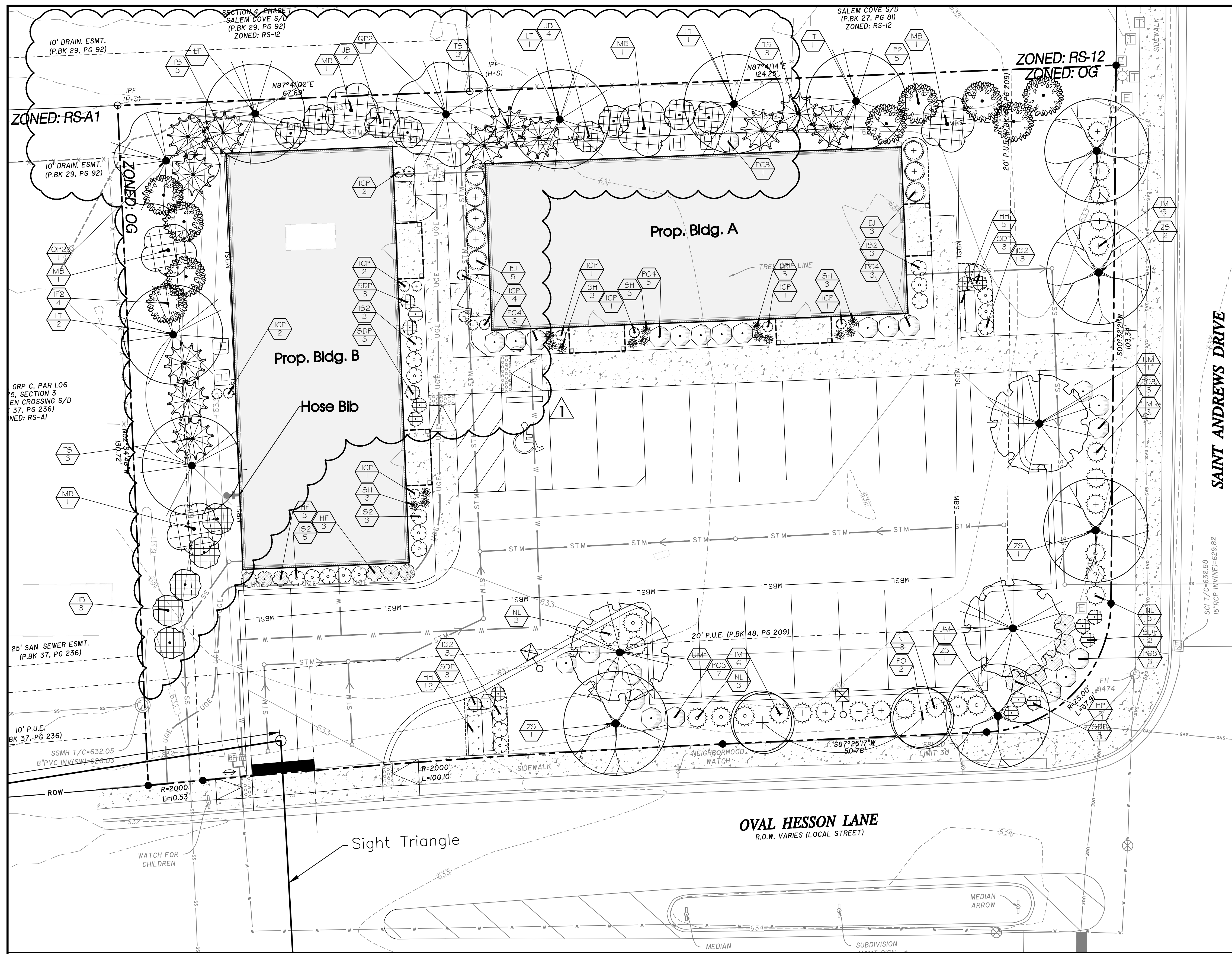
Pavement Hatch Legend

- Concrete Pavement
- Porous Concrete

Notes:
1) Rooftop HVAC and mechanical units must be screened from public view.
2) Trash bin screening must extend 1 foot above dumpster.



BENCHMARK:
CHISELED "X" ON CURB
ELEV=633.92
(NAVDB8)



Salem Glen Lot 14

LANDSCAPE PLAN

SITE DATA
 SITE AREA: ±0.55 ACRES
 SITE ZONING: OG

OPEN SPACE REQUIREMENTS
 20% OF OPEN SPACE (LANDSCAPE AREAS GREATER THAN 200 SF) IS REQUIRED PER PHASE.
 OPEN SPACE REQUIRED 0.55 AC x 20% = 0.11 AC
 OPEN SPACE PROVIDED = 0.20 AC (36.4%)
 FORMAL OPEN SPACE NOT REQUIRED

LANDSCAPE REQUIREMENTS (AS PER SECTION 27)

REQUIRED PERIMETER LANDSCAPING	REQUIRED	PROVIDED
(OVAL HESSON LANE - FRONTAGE) (151.40' - 24.00') = 127.40 LF 1 SHADE TREE/ 40 LF OF FRONTAGE 1 ORNAMENTAL TREE/ 25 LF OF FRONTAGE 1 SHRUB/ 5 LF OF FRONTAGE	2 TREES 2 TREES 25 SHRUBS	2 TREES (78 LF) 2 TREES (50 LF) 25 SHRUBS
(ST. ANDREWS DRIVE) 126.54 LF 1 SHADE TREE/ 40 LF OF FRONTAGE 1 SHRUB/ 5 LF OF FRONTAGE	3 TREES 25 SHRUBS	3 TREES 25 SHRUBS
(NORTHERN PERIMETER) 191.94 LF - CLASS 'B' BUFFER 1 SHADE TREE/ 40 LF OF FRONTAGE	00 TREES	00 TREES (BUFFER REQUIREMENTS)
(WESTERN PERIMETER) 130.78 LF - CLASS 'B' BUFFER 1 SHADE TREE/ 40 LF OF FRONTAGE	00 TREES	00 TREES (BUFFER REQUIREMENTS)

PARKING LOT REQUIREMENTS
 ONE SHADE TREE OR TWO ORNAMENTAL TREES PER 12.5 PARKING STALLS TO BE PLANTED IN LANDSCAPE ISLANDS (MIN. 8' WIDTH).
 18 PARKING SPACES PROVIDED = 1 TREES REQUIRED
 4 TREES PROVIDED IN ISLANDS

DESIGN GUIDELINES LANDSCAPE REQUIREMENTS

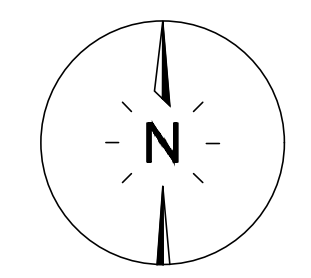
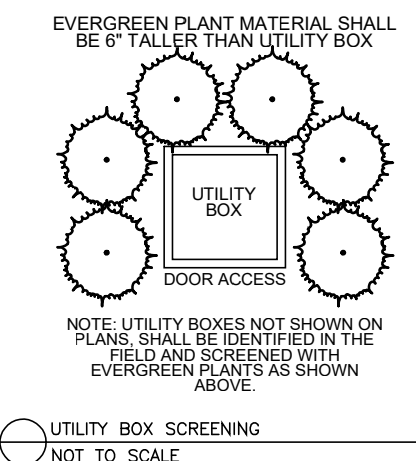
REQUIRED PERIMETER/PARKING TREES:	TREES REQUIRED	TREES PROPOSED
10% REQUIRED 4" CALIPER:	8	16 (OVERAGE DUE TO TREE ISLAND AND BUFFER REQUIREMENTS)
15% REQUIRED 3" CALIPER:	1	1

PLAN NOTES:

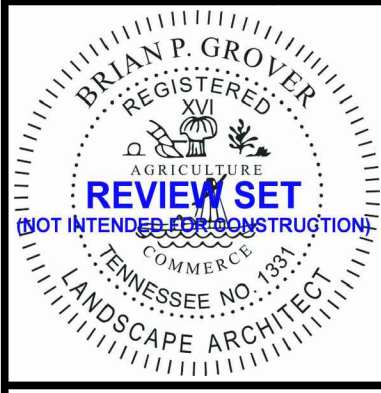
- ANY TREES OR SHRUBS THAT ARE DEAD, DYING OR MISSING OUTSIDE THE SCOPE OF THE CURRENT WORK WILL NEED TO BE REPLACED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- ALL LANDSCAPE BEDS TO HAVE NEATLY TRENCHED BED EDGE AND HAVE 4" MINIMUM DEPTH OF HARDWOOD MULCH.
- ALL TREES AND SHRUBS SHALL BE COORDINATED WITH LIGHTING PLAN PRIOR TO INSTALLATION.
- ALL NEW PLANT MATERIAL AND TURF AREAS SHOULD BE IRRIGATED.
- ALL SHRUBS TO BE 3' BACK OF CURB.
- ALL AREAS OF DISTURBANCE OUTSIDE OF LANDSCAPE BEDS SHALL BE REPAIRED WITH REBEL III FESCUE SEED OR SOD.
- ANY UTILITY STRUCTURE, LIGHT POLES, SIGN, OR OTHER FEATURE MAY NOT BE ADDED TO ANY REQUIRED LANDSCAPE ISLAND IN SUCH A MANNER THAT WOULD DISPLACE THE REQUIRED ELEMENT(S) (TREES, SHRUBS, ETC.)
- PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING MATERIALS, INCLUDING TURF, AND IRRIGATION MATERIALS BOTH ON SITE, AND INSIDE THE ROW.

PLANTING SCHEDULE NOTES

- SHRUBS AND TREES SHALL BE OF THE HIGHEST QUALITY.
- NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER AND LANDSCAPE ARCHITECT OF RECORD.
- SUBSTITUTIONS AND DEVIATIONS MAY OR MAY NOT BE APPROVED.
- REVISED LANDSCAPE PLANS MUST BE SUBMITTED AND APPROVED BY THE CITY OF MURFREESBORO PLANNING DEPARTMENT 615-893-6441 PRIOR TO INSTALLATION.
- ALL IRRIGATION, LAWN AND PLANT MATERIALS WITHIN THE ROW MUST BE MAINTAINED BY THE PROPERTY OWNER.



SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
SEC, Inc.
 LANDSCAPE ARCHITECTURE
 850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129
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Salem Glen
 Lot 14
 Murfreesboro, Tennessee

REVISIONS:
 A 11-05-2025: Start Comments
 DRAWN: KMG
 DATE: 10-16-2025
 CHECKED:
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 SCALE:
 1" = 10'
 JOB NO.
 16002
 SHEET:
 L1.0

GENERAL NOTES:

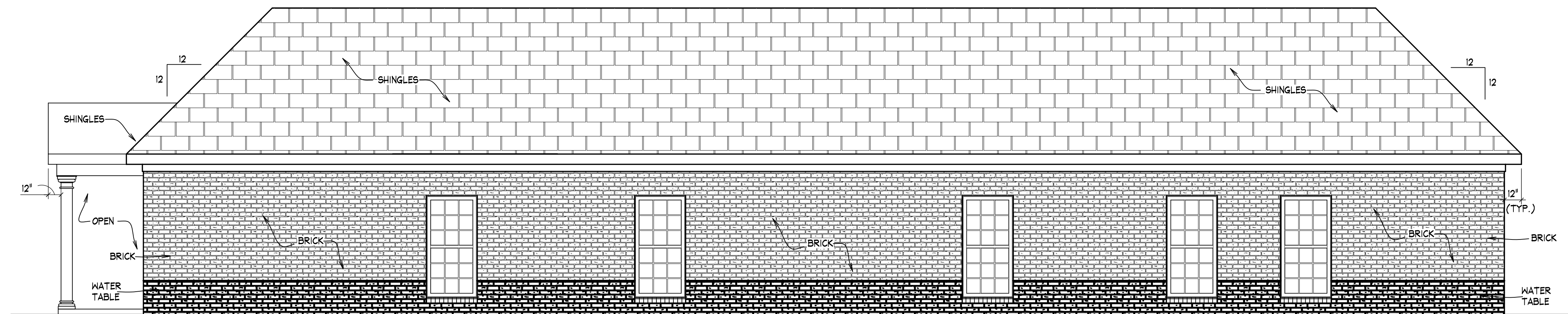
1. PROVIDE STEEL LINTELS AT ALL BRICK OPENINGS AS REQUIRED.
2. BRICK VENEER MUST BE SUPPORTED BY NON-COMBUSTIBLE MATERIALS TO FOOTING PER LICENSED ENGINEER.
3. PROVIDE SCREENED SOFFIT VENTS AT 96" O.C. AROUND HOUSE; CONTINUOUS AT ALL VAULTS; AND PROVIDE PROPER ROOF VENTILATION PER LOCAL BUILDING CODE REQUIREMENTS.
4. ALL WINDOW SIZES SHOWN ARE NOMINAL—CONSULT WINDOW MANUFACTURER AND/OR GENERAL CONTRACTOR FOR ACTUAL SIZES, AND ROUGH OPENING SIZES. VERIFY THAT ALL APPLICABLE WINDOWS MEET EGRESS REQUIREMENTS FOR LOCAL BUILDING CODES.
5. CREATIVE HOME DESIGNS, INC., SHALL NOT BE RESPONSIBLE FOR FIELD CHANGES OR CLIENT ALTERATIONS TO THIS PLAN.

	Triangle Brick "Oxford"	Ruby Red Mortar
Brick - Primary (Body)		

	Columbia Brick Co "Creekstone"	Sandstone Mortar
Brick - Secondary (Base)		

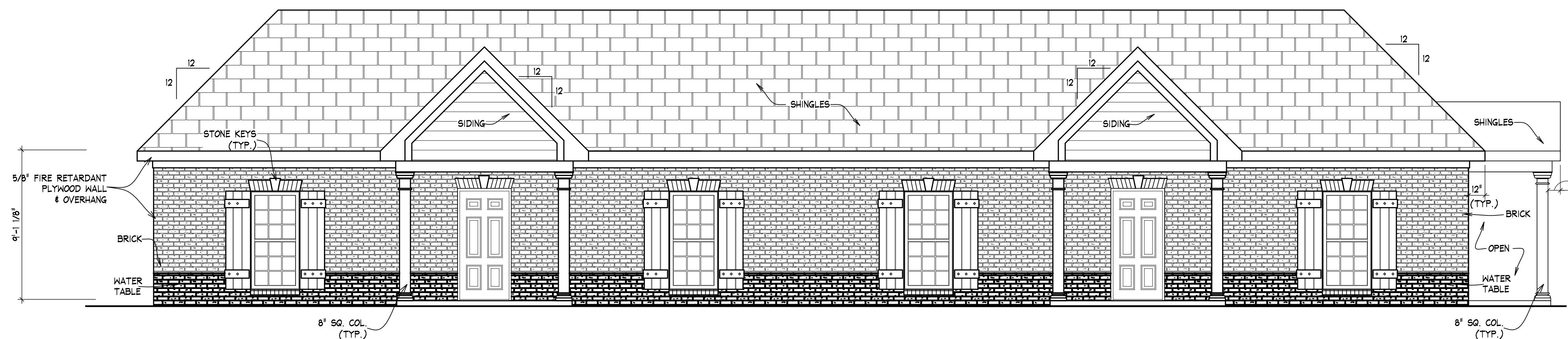
NOTE:

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REAR ELEVATION

SCALE 1/4" = 1'-0"




FRONT ELEVATION

SCALE 1/4" = 1'-0"

REVISIONS

While every attempt has been made in the preparation of this plan to avoid errors, omissions, and mistakes, the designer can not guarantee against human error. The contractor and/or client shall verify all conditions, dimensions, details and specifications and be responsible for same. The designer will not be liable for human error after construction begins.



CREATIVE HOME DESIGNS, INC.
OF MIDDLE TENNESSEE
745 S. Church St., Suite 230
Murfreesboro, TN (615) 890-2855

It is the intent of these documents to provide sufficient information to the experienced builder to construct the project shown; it is therefore his responsibility to verify accuracy and compliance with all regulatory agencies prior to construction; and their requirements must take precedence over those shown.

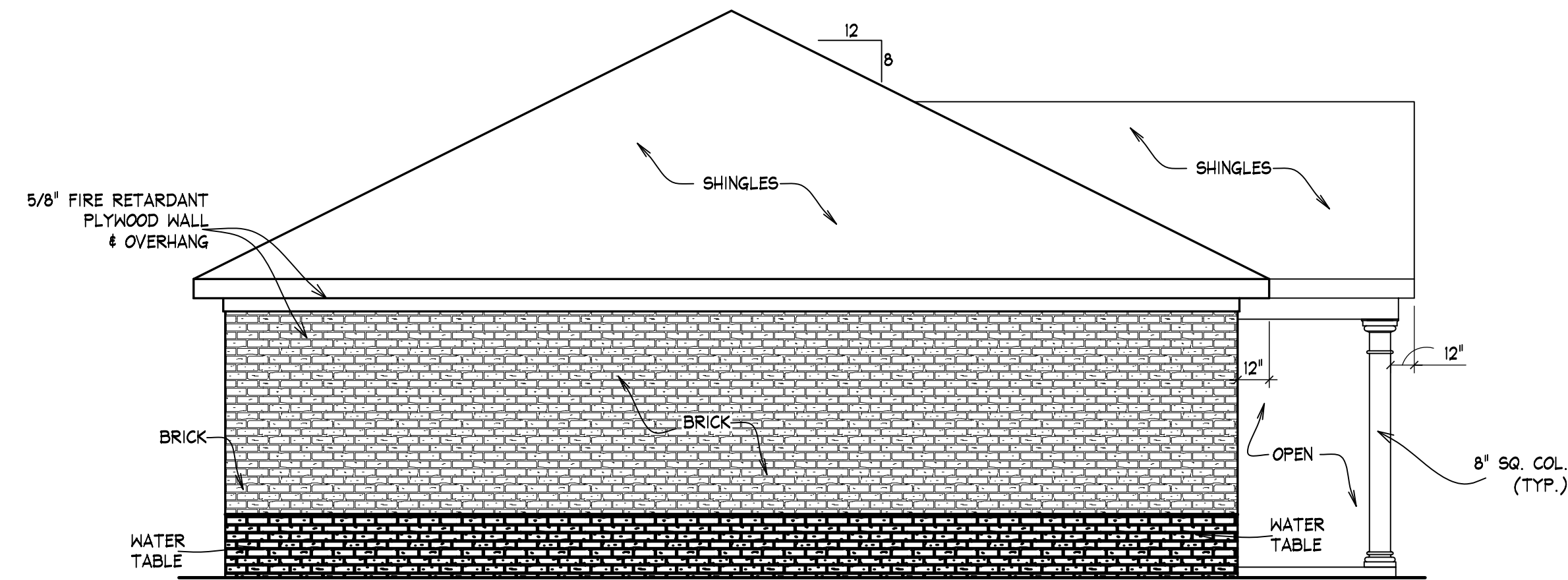
DATE	6-15-20
DRAWN	P.B.
JOB NO.	
SGC LOT	
14	
SHEET	
1	

GENERAL NOTES:

1. PROVIDE STEEL LINTELS AT ALL BRICK OPENINGS AS REQUIRED.
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LEFT SIDE ELEVATION

SCALE 1/4" = 1'-0"

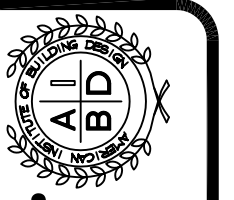


RIGHT SIDE ELEVATION

SCALE 1/4" = 1'-0"

REVISIONS

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DATE	6-15-20
DRAWN	P.B.
JOB NO.	



SGC LOT
14

SHEET

4

GENERAL NOTES:

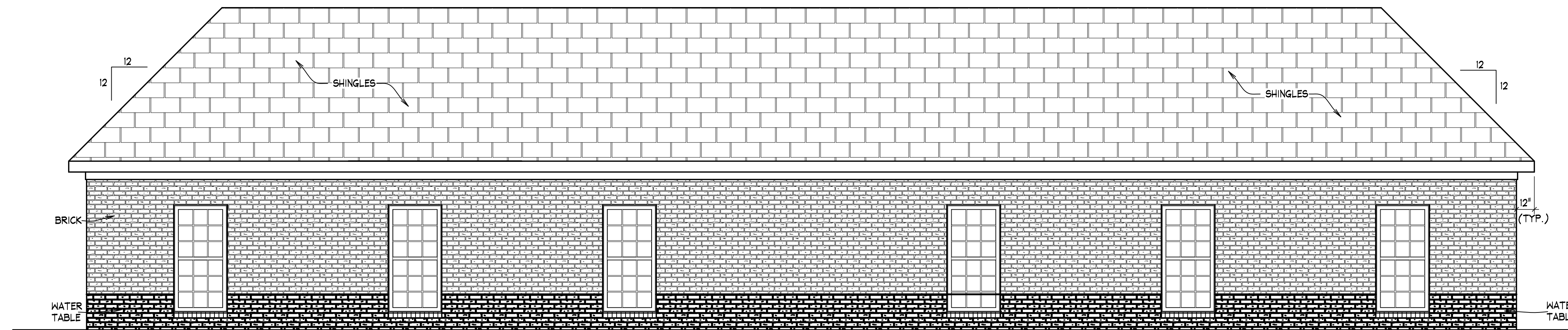
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5. CREATIVE HOME DESIGNS, INC., SHALL NOT BE RESPONSIBLE FOR FIELD CHANGES OR CLIENT ALTERATIONS TO THIS PLAN.

	Triangle Brick "Oxford"	Ruby Red Mortar
Brick - Primary (Body)		

	Columbia Brick Co "Creekstone"	Sandstone Mortar
Brick - Secondary (Base)		

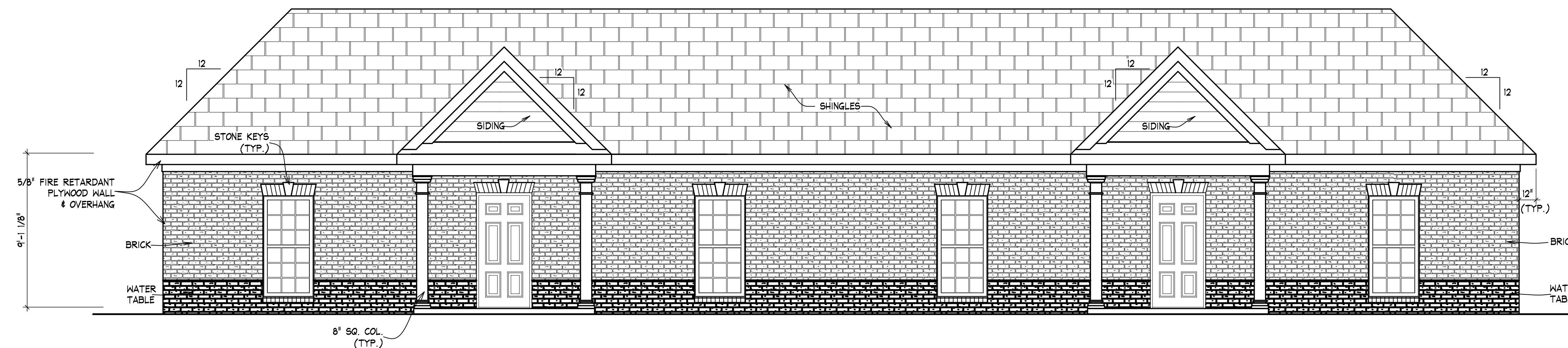
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REAR ELEVATION

SCALE 1/4" = 1'-0"



FRONT ELEVATION

SCALE 1/4" = 1'-0"

REVISIONS

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Murfreesboro, TN (615) 890-2855

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DATE	6-15-20
DRAWN	P.B.
JOB NO.	

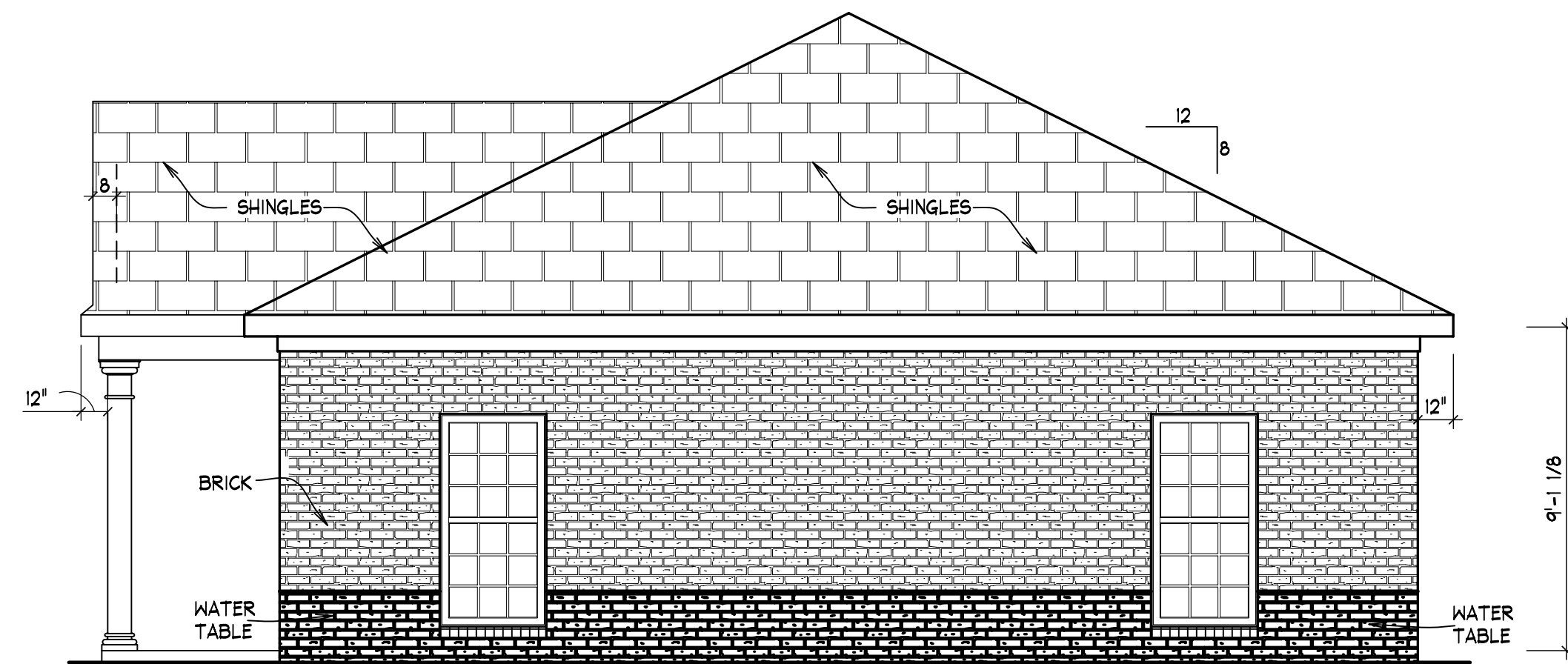
SGC
SHEET
1

GENERAL NOTES:

1. PROVIDE STEEL LINTELS AT ALL BRICK OPENINGS AS REQUIRED.
2. BRICK VENEER MUST BE SUPPORTED BY NON-COMBUSTIBLE MATERIALS TO FOOTING PER LICENSED ENGINEER.
3. PROVIDE SCREENED SOFFIT VENTS AT 96" O.C. AROUND HOUSE; CONTINUOUS AT ALL VAULTS; AND PROVIDE PROPER ROOF VENTILATION PER LOCAL BUILDING CODE REQUIREMENTS.
4. ALL WINDOW SIZES SHOWN ARE NOMINAL-CONSULT WINDOW MANUFACTURER AND/OR GENERAL CONTRACTOR FOR ACTUAL SIZES, AND ROUGH OPENING SIZES. VERIFY THAT ALL APPLICABLE WINDOWS MEET EGRESS REQUIREMENTS FOR LOCAL BUILDING CODES.

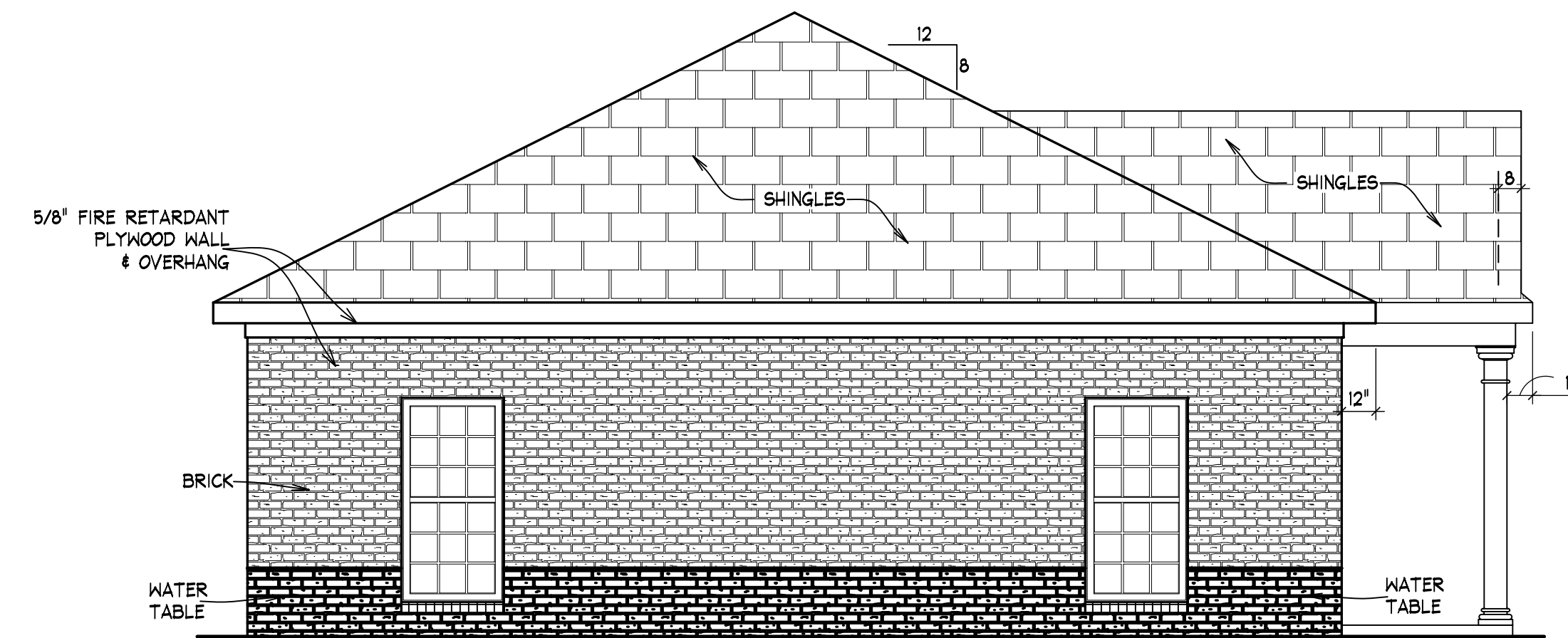
NOTE:

CREATIVE HOME DESIGNS, INC. DOES NOT PRACTICE STRUCTURAL ENGINEERING; THEREFORE, ALL BEAMS, CONNECTORS, SOLID BEARING LOCATIONS, AND ALL OTHER STRUCTURAL ITEMS ARE TO BE REVIEWED AND DESIGNED BY A LICENSED STRUCTURAL ENGINEER. THEN ACCORDINGLY, CREATIVE HOME DESIGNS, INC. ASSUMES NO RESPONSIBILITY FOR THE STRUCTURAL INTEGRITY OF THE BUILDING. HOWEVER, ANY DESIGN ELEMENTS THAT MAY NEED TO BE ALTERED DUE TO STRUCTURAL ITEMS MUST BE APPROVED BY THE OWNER AND / OR CREATIVE HOME DESIGNS, INC.



RIGHT SIDE ELEVATION

SCALE 1/4" = 1'-0"



LEFT SIDE ELEVATION

SCALE 1/4" = 1'-0"

REVISIONS

While every attempt has been made in the preparation of this plan to avoid errors, omissions, and mistakes, the designer can not guarantee against human error. The contractor and/or client shall verify all conditions, dimensions, details and specifications and be responsible for same. The designer will not be liable for human error after construction begins.



CREATIVE HOME DESIGNS, INC.

OF MIDDLE TENNESSEE
745 S. Church St., Suite 230
Murfreesboro, TN (615) 890-2855

It is the intent of these documents to provide sufficient information to the experienced builder to construct the project shown; it is therefore his responsibility to verify accuracy and compliance with all regulatory agencies prior to construction; and their requirements must take precedence over those shown.

DATE	6-15-20
DRAWN	P.B.
JOB NO.	

SGC
SHEET
4

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
NOVEMBER 19, 2025
PROJECT PLANNER: RICHARD DONOVAN**

5.m. Take 5 [2025-3119] site plan for a 1,643 ft² motor vehicle service building on 0.72 acres zoned CH located along New Salem Highway, Jarman Development developer.



Site Summary

This is a site plan review for a Take 5 Oil Change, located on the southeast corner of the Cason Land and New Salem Highway intersection. The proposed development includes a single-story, 1,643 square-foot motor vehicle service building with associated parking, infrastructure, and landscaping, all designed to meet the Zoning Ordinance and Design Guidelines. Primary parking areas will be situated on the north and south sides of the building along New Salem Highway and the rear access easement. The plan utilizes cross access easements from adjoining properties to access both Cason Land and New Salem Highway.

Following staff's review, the plans appear to meet the minimum requirements of the zoning ordinance, and the design guidelines. The applicant has demonstrated compliance with parking, landscaping, lighting standards, and architectural standards, as detailed in the review comments. Staff recommends approval of the

site plan, subject to all staff comments and continued collaboration between the development team and City staff.

Access and Parking

The site depicts two vehicular access one shared access to New Salem Highway and a rear access to access easement that reaches Cason Lane. Chart 4 of the Zoning Ordinance for “motor vehicle service” use requires 2 spaces for each service stall. The site has 3 service stalls and requires 6 parking spaces. Below is a table showing the total parking space calculation provided for the site.

Parking		
	Required	Proposed
Standard Parking	6	11
ADA Spaces	1	1
Total	7	12

Landscaping

As depicted on the landscape plan, several trees and species have been utilized on the site to help enhance the building's architecture and screen certain elements. The site includes perimeter yard plantings, parking islands, and base of building plantings as required of this commercial area.

Building and Architecture

The architectural standards outlined in the Design Guidelines require that buildings incorporate consistent design elements such as façade treatment, materials, color, and roof design. The proposed building is a single-story structure features a stone water table as the base, a brick body and metal coping with a EFIS band to establish the cap on all four sides.

Staff Comments

Development Services – Planning

Richard Donovan, 615.893.6441, rdonovan@murfreesborotn.gov

1. No comments.

Development Services – Engineering

Lee Holliman, 615.893.6441, lholliman@murfreesborotn.gov

1. Prior certificate of occupancy being issued submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No Comments.

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No Comments.

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

1. No Comments.

Consolidated Utility District

Will Steele, 615.225.3313, wsteele@ cudrc.com

1. CUD review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until CUD has issued its formal approval. The plans shall comply with all applicable CUD standards.

MTE – Middle Tennessee Electric

Ben Martin, 615.494.0428, murfreesborocity.engineering@ mtemc.com

1. MTE review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until MTE has issued its formal approval. The plans shall comply with all applicable MTE standards.

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1. No Comments.

Murfreesboro Water Resources Department

Anita Heck, 615-848-3200, aheck@murfreesborotn.gov

1. MWRD review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until MWRD has issued its formal approval. The plans shall comply with all applicable MWRD standards.

Informational and Procedural Comments

Development Services – Planning

Richard Donovan, 615.893.6441, rdonovan@murfreesborotn.gov

1. This site plan is not affected by the City's Major Transportation Plan.
2. The design engineer needs to coordinate all proposed sidewalk locations with utility providers. Elimination of conflicts is the responsibility of the developer.
3. As a note to the developer, an unkempt site will not be permitted, and if debris is stored in areas outside of the designated storage area, staff will shut down the jobsite.
4. In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case or new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Lee Holliman, 615.893.6441, lholliman@murfreesborotn.gov

1. A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Engineering Department and must be approved by the city engineer.
2. Prior to a land disturbance permit, provide a stormwater pollution prevention plan (SWPPP) to be reviewed and approved by the City Engineer prior to any permit. Include provisions for erosion and sediment control with details in general compliance with the TDEC Erosion and Sediment Control Handbook Fourth Edition.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No Comments.

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No Comments.

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

1. The Planning Commission does not approve signage. Any signage that is shown on exterior building elevations, renderings, or site plans are not approved when those plans are reviewed as a function of the site plan and plat review processes.
2. Sign permits and reviews are a separate approval process, please reach out to Sign Administrator, Teresa Stevens at tstevens@murfreesborotn.gov for additional information.
3. Sign reviews can include temporary signs, attached signs, and ground signs. Strip lighting that is placed under an eave and outline lighting placed on the exterior of a building or canopy may be considered signs and require a separate review as well.
4. For proposed flagpole(s), the flagpole(s) shall be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for the flagpole(s) are established in the Sign Ordinance.
5. Any ground sign or freestanding wall sign (monument sign) to be located within a public utility or drainage easement shall have a completed and recorded City of Murfreesboro revocable license agreement with easement holders.
6. Any site and building signage installed prior to issuance of Certificate of Occupancy must have a sign permit issued. Any signs installed without a sign permit will delay your Certificate of Occupancy.
7. Proposed site signage to be installed shall be shown on utility and site plans. Proposed building signage shall be shown on elevation drawings.

Consolidated Utility District

Will Steele, 615.225.3313, wsteele@ cudrc.com

1. No Comments.

MTE – Middle Tennessee Electric Membership Corporation

Ben Martin, 615.494.0428, murfreesborocity.engineering@ mtemc.com

1. No Comments.

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@ mufreesborotn.gov

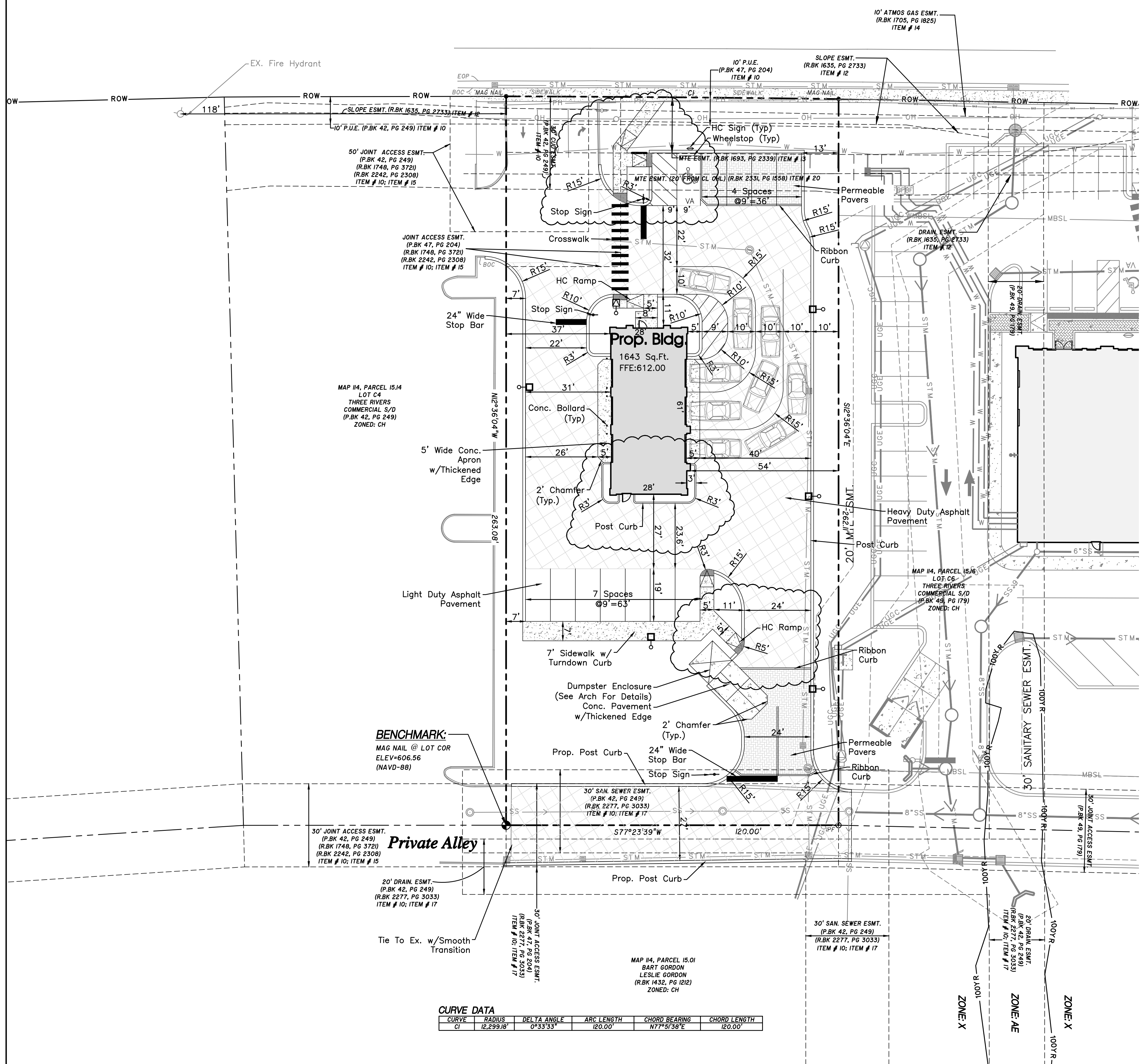
1. Show hydrant.

Murfreesboro Water Resources Department

Anita Heck, 615-848-3200, aheck@ murfreesborotn.gov

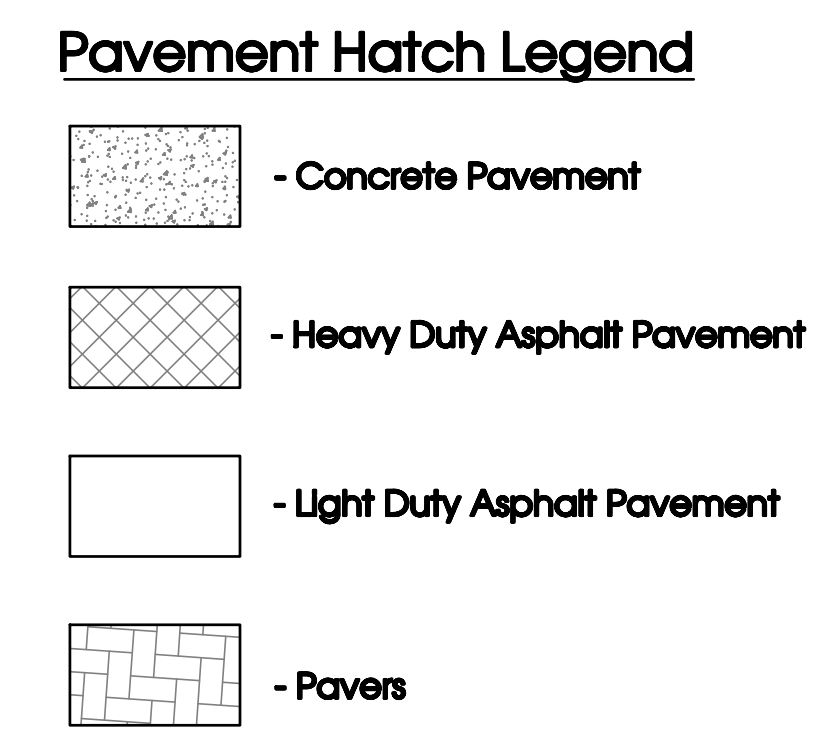
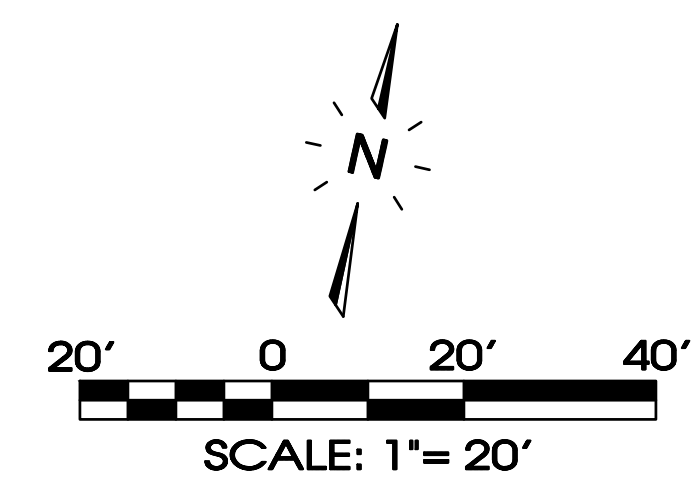
1. No Comments.

NEW SALEM HIGHWAY / STATE ROUTE 99
R.O.W. WIDTH VARIES (MAJOR ARTERIAL)



CURVE DATA

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
CI	12,299.0'	0°33'33"	120.00'	N77°51'38"E	120.00'



Owner/Developer:
Jarman Development
2404 Crestmoor Road
Nashville, TN 37215

Contact: Luke Brodeur

Deed Reference:
R.BK. 2277, Page 3016
Map 114, Parcel 015.15
P.BK. 42, Page 249

Yard Requirements:
Front: 42'
Side: 10'
Rear: 20'

Intended Use:
Automotive/Motor Vehicle Service

Land Use Data:
Zoned: CH
1-Story Building
Building Ht.: 20'-00"
Total Floor Area: 1,643 Sq.Ft.
1 Lot on: 0.72± Acres

Parking Requirement:
Service 500' x 3' = 6 Spaces Required Or 1/500 Sq.Ft. x 1,643 Sq.Ft. = 4 Spaces Required
Provided: 11 Regular + 1 H.C. = 12 Total Spaces Provided

Flood Map No.:
This site lies within Zone X, not in the 100 Year Floodplain, per Community Panel 47149C025J dated May 9, 2023.

SEC, Inc.
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE
850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: JMINER@SEC-CIVIL.COM FAX: (615) 895-2567
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811
Know what's below.
Call before you dig.

Take 5

Site Plan

REVIEW SET
(Not Intended for Construction)

Murfreesboro, Tennessee

REVISED: 11-4-2025; PC Comments

DRAWN: SJA/CFB3

DATE: 10-16-2025

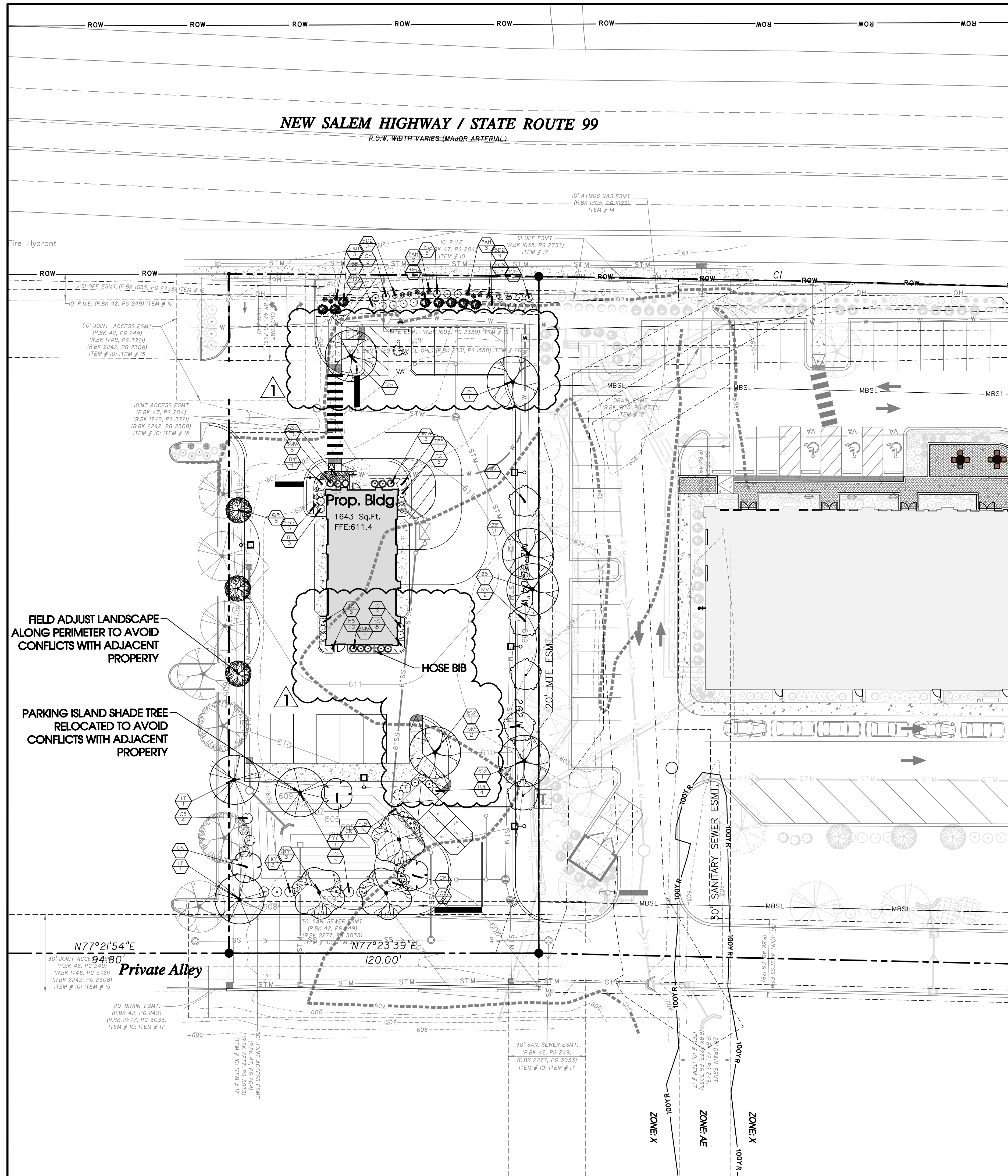
CHECKED: MAT

FILE NAME: 18150take5

SCALE: 1"=20'

JOB NO. 18150

SHEET: C2.0



Take 5 Oil Change

LANDSCAPE PLAN

SITE DATA
 SITE AREA: 0.72 ACRES
 SITE ZONING: CH - COMMERCIAL HIGHWAY

OPEN SPACE REQUIREMENTS
 20% OF OPEN SPACE (LANDSCAPE AREAS GREATER THAN 200 SF) IS REQUIRED PER PHASE.
 OPEN SPACE REQUIRED 0.72 AC x 20% = 0.14 AC
 OPEN SPACE PROVIDED = 0.20 AC (27.7%)

LANDSCAPE REQUIREMENTS (AS PER SECTION 27)

REQUIRED PERIMETER LANDSCAPING	REQUIRED	PROVIDED
NEW SALEM HIGHWAY - FRONTAGE (120.00' - 32.95') = 87.05 LF X 5 LF PLANTING YARD (LIMITED FRONTAGE OPTION 1 DUE TO UTILITY CONFLICTS) 1 SHRUB/ 12.5 SF OF FRONTAGE	35 SHRUBS	35 SHRUBS
EASTERN PERIMETER (262.21' - 13.92') = 248.29 LF 1 SHADE TREE/ 40 LF OF FRONTAGE (124 LF) OR 1 ORNAMENTAL TREE/ 25 LF OF FRONTAGE (125 LF)	3 TREES 5 TREES	3 TREES 5 TREES
WESTERN PERIMETER (263.08' - 74.57') = 188.51 LF 1 SHADE TREE/ 40 LF OF FRONTAGE	5 TREES	5 TREES
SOUTHERN PERIMETER (120.00' - 28.00') = 94.00 LF 1 SHADE TREE/ 40 LF OF FRONTAGE	2 TREES	2 TREES

PARKING LOT REQUIREMENTS
 ONE SHADE TREE OR TWO ORNAMENTAL TREES PER LANDSCAPE ISLAND
 4 LANDSCAPE ISLANDS PROVIDED = 3 SHADE TREES AND 2 ORNAMENTAL TREES REQUIRED (DUE TO UTILITY CONFLICTS)
 3 SHADE TREES AND 2 ORNAMENTAL TREES PROVIDED IN ISLANDS

REQUIRED STORMWATER BEAUTIFICATION LANDSCAPING	REQUIRED	PROVIDED
SOUTHERN STORMWATER (184 LF) 1 SHADE TREE/40 LF OF PERIMETER 1 SHRUB/15 LF OF PERIMETER	5 TREES 13 SHRUBS	5 TREES 13 SHRUBS

DESIGN GUIDELINES LANDSCAPE REQUIREMENTS

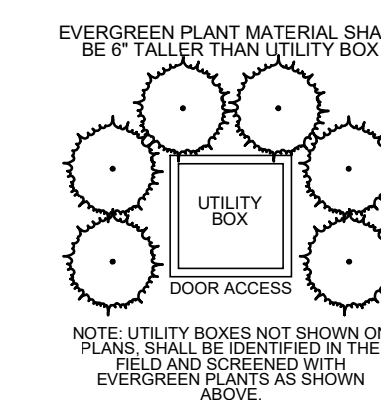
REQUIRED PERIMETER/PARKING TREES:	TREES REQUIRED	TREES PROPOSED
10% REQUIRED 4" CALIPER:	18	18
15% REQUIRED 3" CALIPER:	2	2
	3	3

PLAN NOTES:

- ANY TREES OR SHRUBS THAT ARE DEAD, DYING OR MISSING OUTSIDE THE SCOPE OF THE CURRENT WORK WILL NEED TO BE REPLACED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- ALL LANDSCAPE BEDS TO HAVE NEATLY TRENCHED BED EDGE AND HAVE 4" MINIMUM DEPTH OF HARDWOOD MULCH.
- ALL TREES AND SHRUBS SHALL BE COORDINATED WITH LIGHTING PLAN PRIOR TO INSTALLATION.
- ALL NEW PLANT MATERIAL AND TURF AREAS SHOULD BE IRRIGATED.
- ALL SHRUBS TO BE 3' BACK OF CURB.
- ALL AREAS OF DISTURBANCE OUTSIDE OF LANDSCAPE BEDS SHALL BE REPAIRED WITH REBEL III FESCUE SEED OR SOD.
- ANY UTILITY STRUCTURE, LIGHT POLES, SIGN, OR OTHER FEATURE MAY NOT BE ADDED TO ANY REQUIRED LANDSCAPE ISLAND IN SUCH A MANNER THAT WOULD DISPLACE THE REQUIRED ELEMENT(S) (TREES, SHRUBS, ETC.)
- PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING MATERIALS, INCLUDING TURF, AND IRRIGATION MATERIALS BOTH ON SITE, AND INSIDE THE ROW.

PLANTING SCHEDULE NOTES

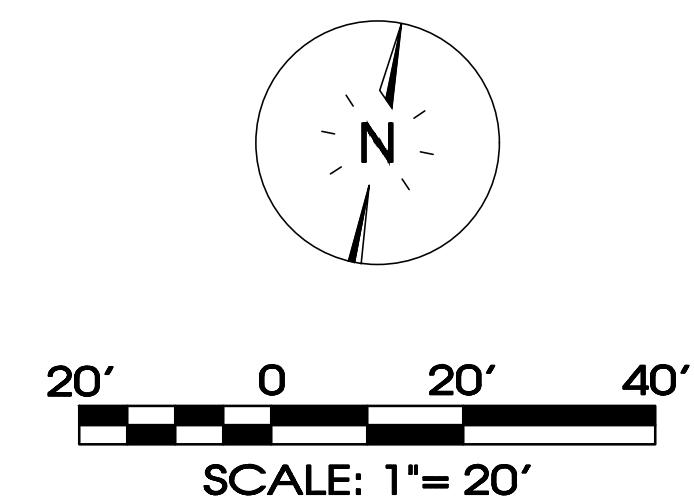
- SHRUBS AND TREES SHALL BE OF THE HIGHEST QUALITY.
- NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER AND LANDSCAPE ARCHITECT OF RECORD.
- SUBSTITUTIONS AND DEVIATIONS MAY OR MAY NOT BE APPROVED.
- REVISED LANDSCAPE PLANS MUST BE SUBMITTED AND APPROVED BY THE CITY OF MURFREESBORO PLANNING DEPARTMENT 615-893-6441 PRIOR TO INSTALLATION.
- ALL IRRIGATION, LAWN AND PLANT MATERIALS WITHIN THE ROW MUST BE MAINTAINED BY THE PROPERTY OWNER.



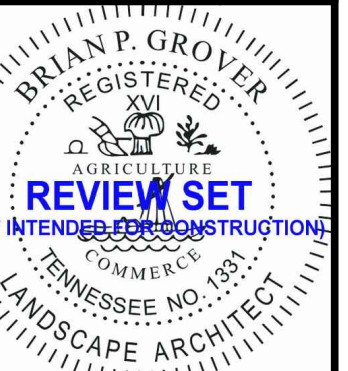
UTILITY BOX SCREENING NOT TO SCALE



Know what's below.
Call before you dig.



SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE
SEC, Inc.
 850 MIDDLE TENNESSEE BOULEVARD
 MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 890-7901 WWW.SEC-CIVIL.COM FAX: (615) 895-2567
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Take 5
New Salem Highway
Murfreesboro, Tennessee

Revised: 11-05-2025; Start Comments
 DRAWN: NPB
 DATE: 10-16-2025
 CHECKED: BPG
 FILE NAME: 18150take5_LA
 SCALE: 1" = 20'
 JOB NO: 18150
 SHEET: L1.0

EXTERIOR FINISH SCHEDULE

KEYNOTE:	MATERIAL:	COATS:	COLOR/MFR:	FINISH
1	THIN BRICK MAIN COLOR	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	CHEROKEE BRICK, 'VELOUR LIGHT GRAY', SIZE: M/S	
2	E.I.F.S. ACCENT BAND AND FACE	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	MATCH SW #7678 'COTTAGE CREAM'	
3	STONE WAINSCOT (BASE)	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	HORIZON STONE, LEDGESTONE SERIES, 'SMOKEY MOUNTAIN'	
4	COPING	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	MATCH SW #6871 'POSITIVE RED'	KYNAR 500 PREFINISHED
5	E.I.F.S. SECONDARY COLOR	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	MATCH SW #6871 'POSITIVE RED'	
6	BOLLARDS	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	MATCH SW #6871 'POSITIVE RED'	
7	PTAC LOUVERS	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	MATCH SW #6097 'STURDY BROWN'	
8	LOUVERS ABOVE ENTRY DOOR	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	MATCH SW #7693 'STONEBRIAR'	

NOTES:
 1. E.I.F.S. TO HAVE STANDARD IMPACT MESH ABOVE 8'-0" A.F.F.
 2. METAL COPING TO BE PREFINISHED, 24 GA. GALVALUME WITH KYNAR 500, 2.0 MILS THICK FLUOROCARBON FINISH.

NORTH ELEVATION - MATERIAL PERCENTAGE

MATERIAL:	COLOR:	PERCENTAGE:
BRICK MAIN COLOR	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	31%
STONE VENEER	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	10%
WATER TABLE	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	2%
E.I.F.S. VENEER	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	7%
COPING	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	14%
GLAZING	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	36%

SOUTH ELEVATION - MATERIAL PERCENTAGE

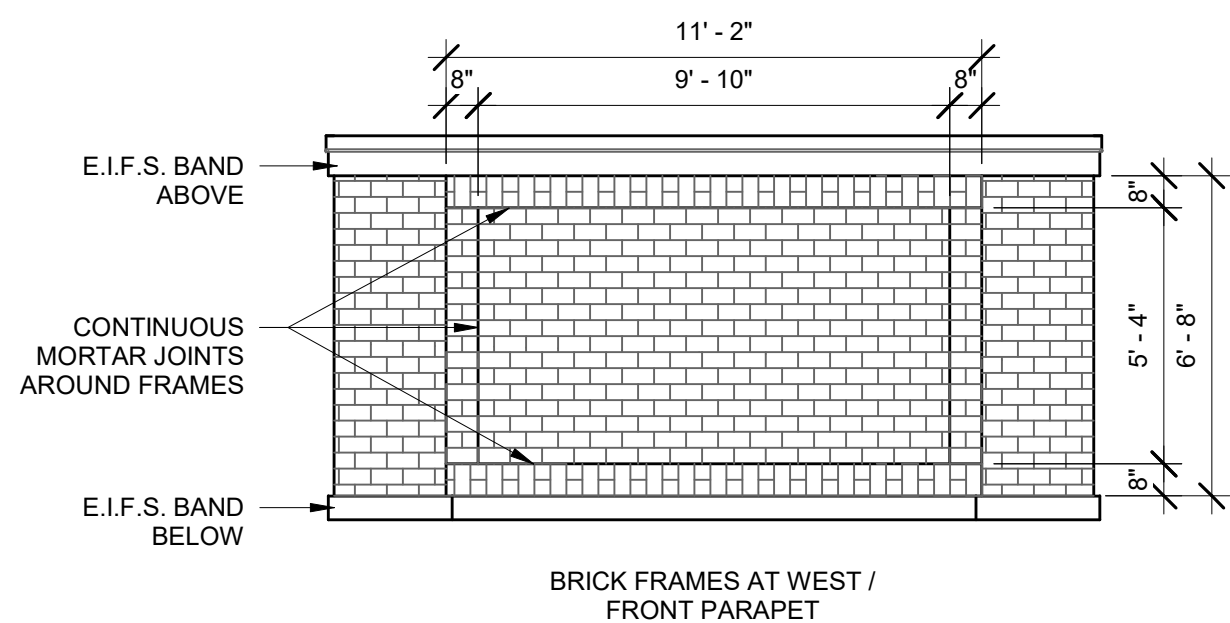
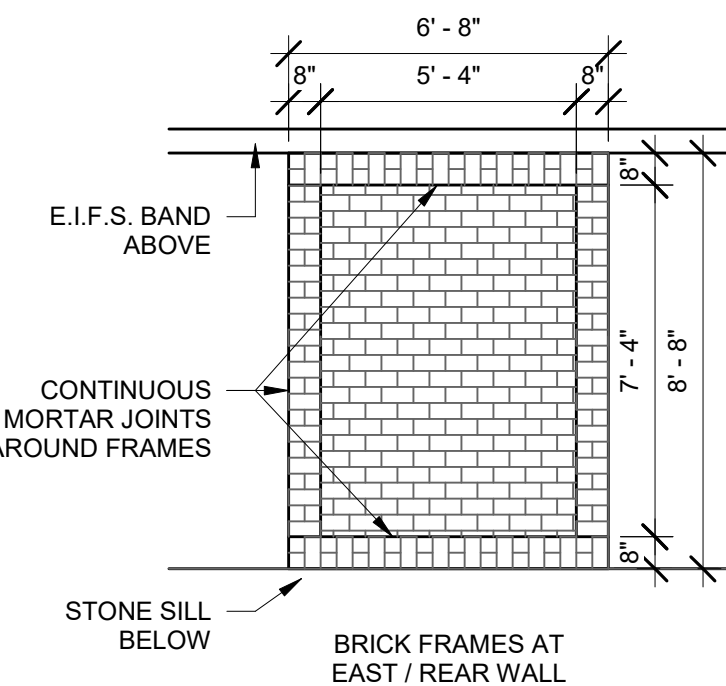
MATERIAL:	COLOR:	PERCENTAGE:
BRICK MAIN COLOR	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	27%
STONE VENEER	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	9%
WATER TABLE	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	1%
E.I.F.S. VENEER	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	19%
COPING	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	12%
GLAZING	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	35%

WEST / FRONT ELEVATION - MATERIAL PERCENTAGE

MATERIAL:	COLOR:	PERCENTAGE:
BRICK MAIN COLOR	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	48%
STONE VENEER	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	14%
WATER TABLE	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	2%
E.I.F.S. VENEER	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	5%
COPING	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	3%
GLAZING	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	25%

SOUTH ELEVATION - MATERIAL PERCENTAGE

MATERIAL:	COLOR:	PERCENTAGE:
BRICK MAIN COLOR	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	57%
STONE VENEER	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	17%
WATER TABLE	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	2%
E.I.F.S. VENEER	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	15%
COPING	SEE SPECIFICATIONS AND MANUFACTURER'S REQUIREMENTS	9%



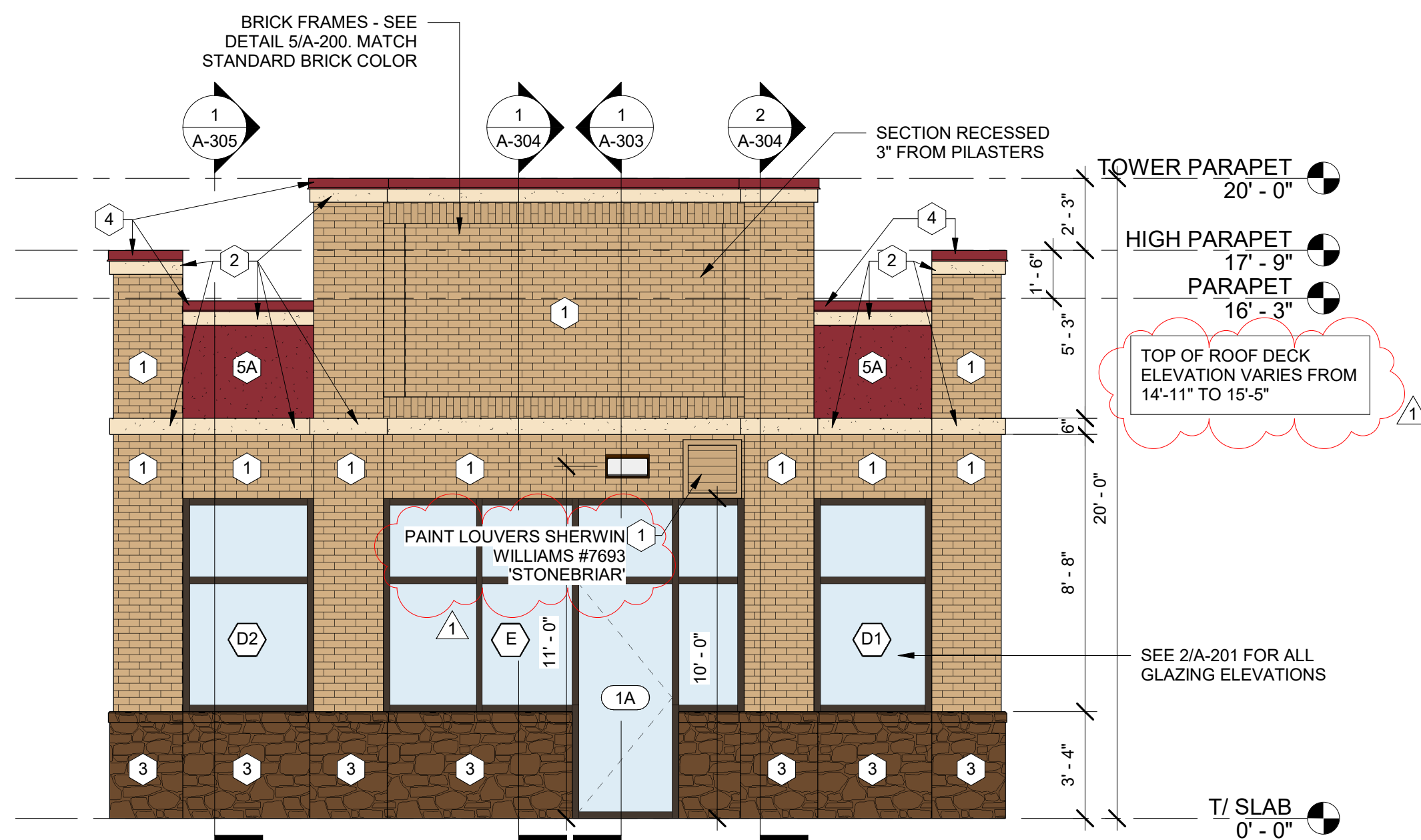
THIN BRICK FRAME ELEVATIONS

1/4" = 1'-0"

FACADE GLAZING PERCENTAGES

LOCATION:	PERCENTAGE:
NORTH / SIDE ELEVATION	37%
SOUTH / SIDE ELEVATION	38%
WEST / FRONT ELEVATION	39% (25% - GLAZING, 14% - BRICK FRAME)
EAST / REAR ELEVATION	5%

NOTES:
 1. ROOFTOP HVAC AND MECHANICAL UNITS MUST BE SCREENED FROM PUBLIC VIEW.
 2. DUMPSTER SCREENING MUST EXTEND 1 FT BEYOND DUMPSTER.

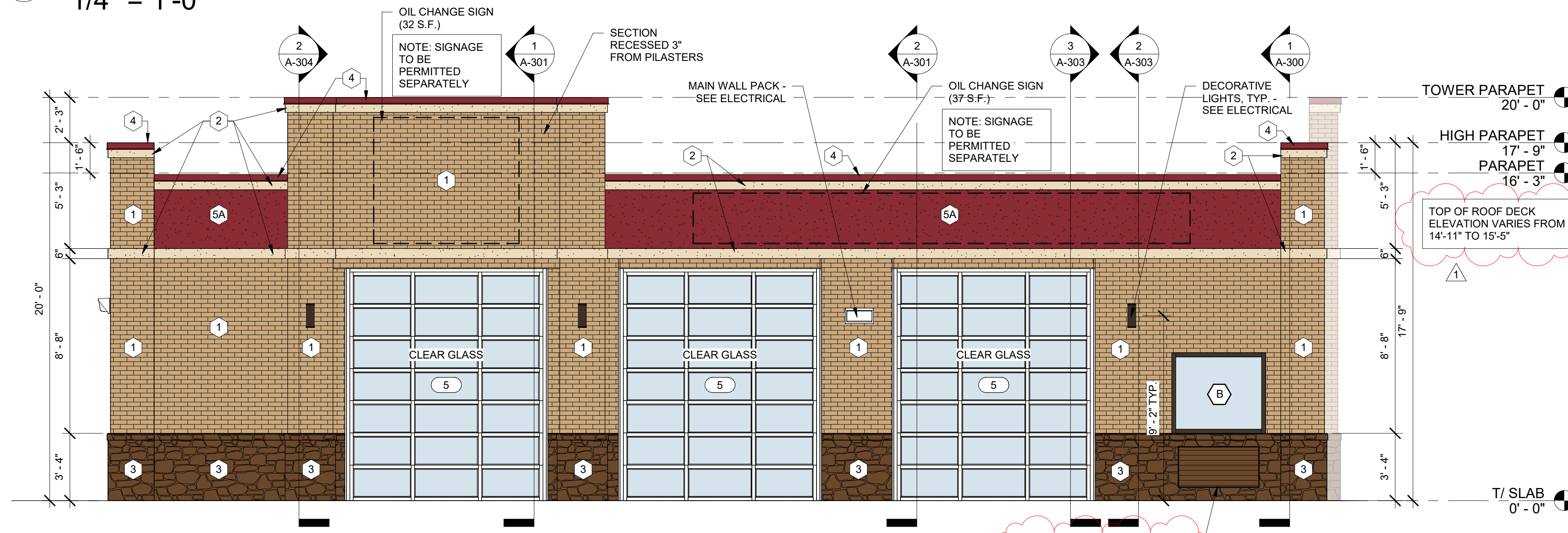


EXTERIOR ELEVATION - NORTH

1/4" = 1'-0"

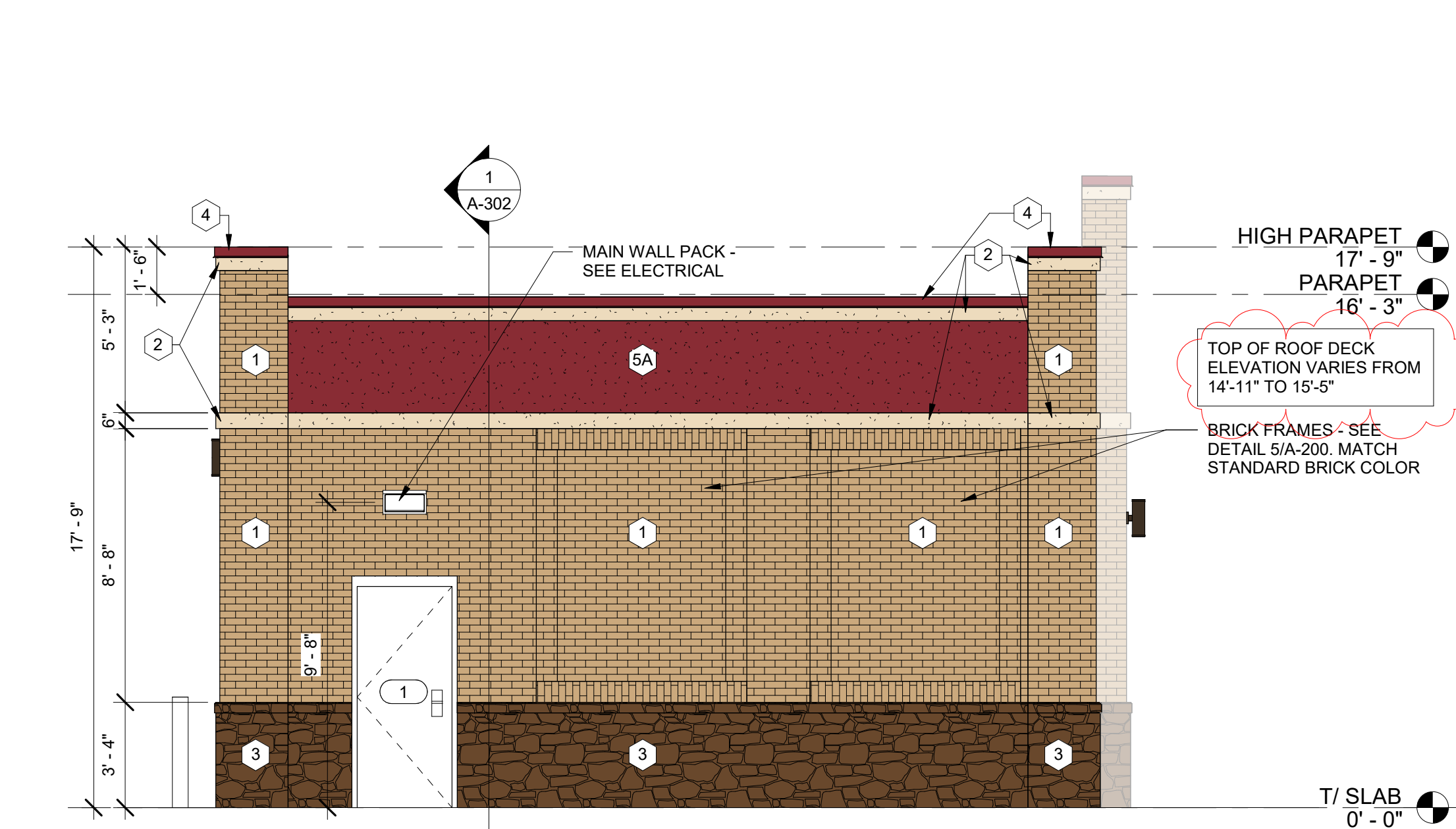
EXTERIOR ELEVATION - EAST

1/4" = 1'-0"



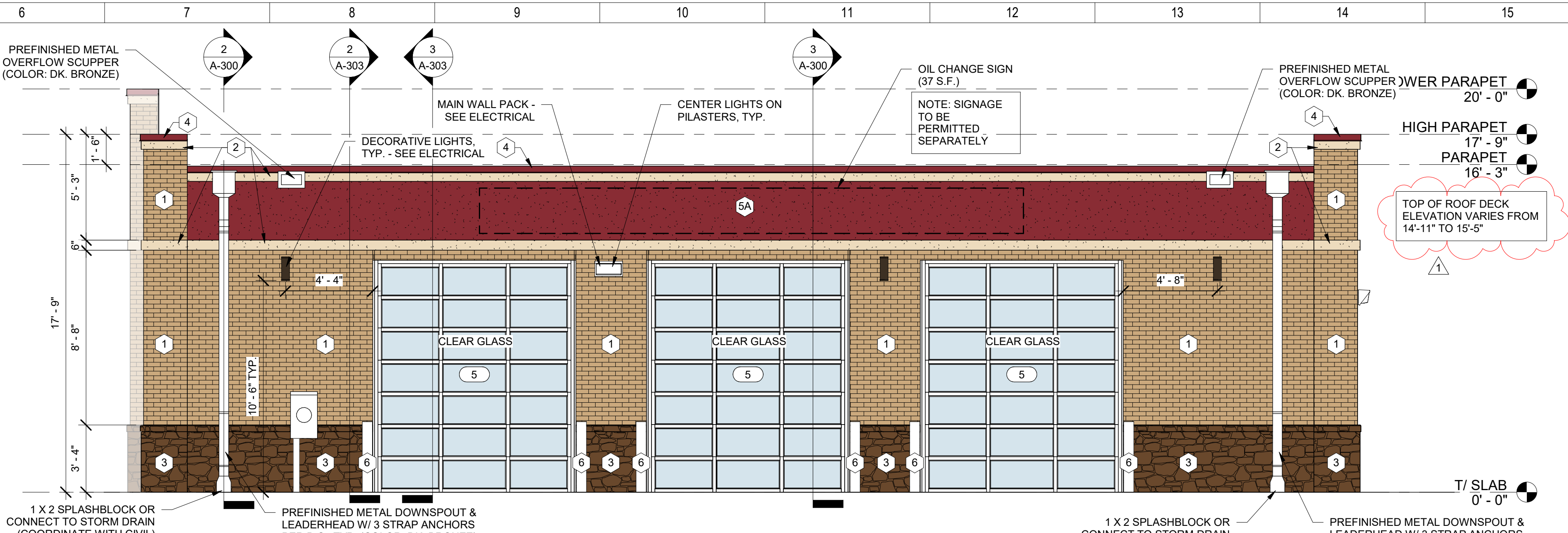
EXTERIOR ELEVATION - SOUTH

1/4" = 1'-0"

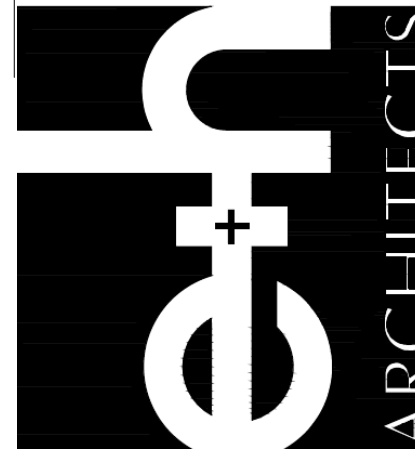


EXTERIOR ELEVATION - WEST

1/4" = 1'-0"



E+H ARCHITECTS, P.C.
 750 OLD HICKORY BLVD., SUITE 50-2
 BRENTWOOD, TN 37027
 PH: 615.377.3111
 www.EandHArch.com



REVISIONS

NO.	DESCRIPTION	DATE
1	PLAN REVIEW COMMENTS	10/26/2025

2375 NEW SALEM HIGHWAY
 MURFREESBORO, TN 37128

EXTERIOR ELEVATIONS



A-200

ISSUE DATE: 11/03/2025

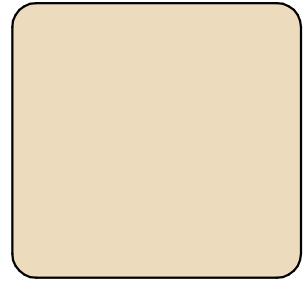
11/03/2025

EXTERIOR FINISHES



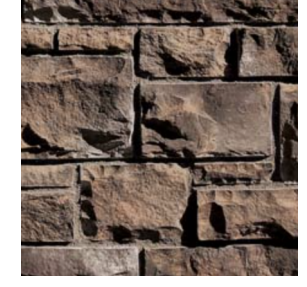
**CHEROKEE BRICK
'VELOUR LIGHT GRAY'**

THIN BRICK MAIN COLOR



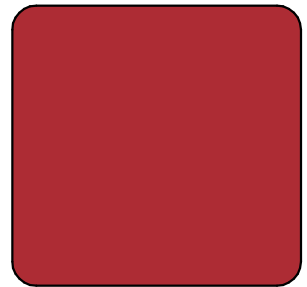
**SHERWIN WILLIAMS
SW 7678 - COTTAGE CREAM**

E.I.F.S. ACCENT BAND AND FACE



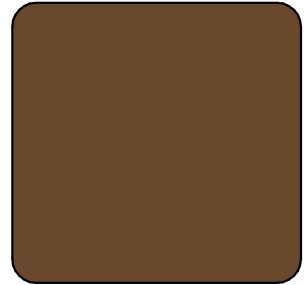
**HORIZON STONE
LEDGESTONE SERIES - 'SMOKEY MOUNTAIN'**

STONE WAINSCOT (BASE)



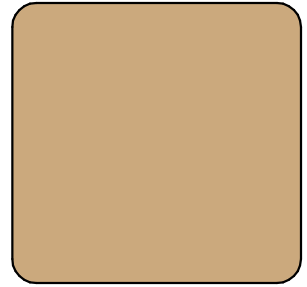
**SHERWIN WILLIAMS
SW 6871 - POSITIVE RED**

COPING+E.I.F.S SECONDARY
COLOR+BOLLARDS



**SHERWIN WILLIAMS
SW 6097 - 'STURDY BROWN'**

PTAC LOUVERS BELOW
WINDOW



**SHERWIN WILLIAMS
SW 7693 - 'STONEBRIAR'**

HVAC LOUVERS ABOVE
STOREFRONT ENTRY DOOR



E+H ARCHITECTS, P.C.
750 OLD HICKORY BLVD.,
SUITE 150-2
BRENTWOOD, TN 37027
PH: 615.377.3111
www.EandHArch.com



REVISIONS		DATE
NO.	DESCRIPTION	DATE
1	PLAN REVIEW COMMENTS	10/26/2025

2375 NEW SALEM HIGHWAY
MURFREESBORO, TN 37128

MATERIALS SAMPLE BOARD



A-201

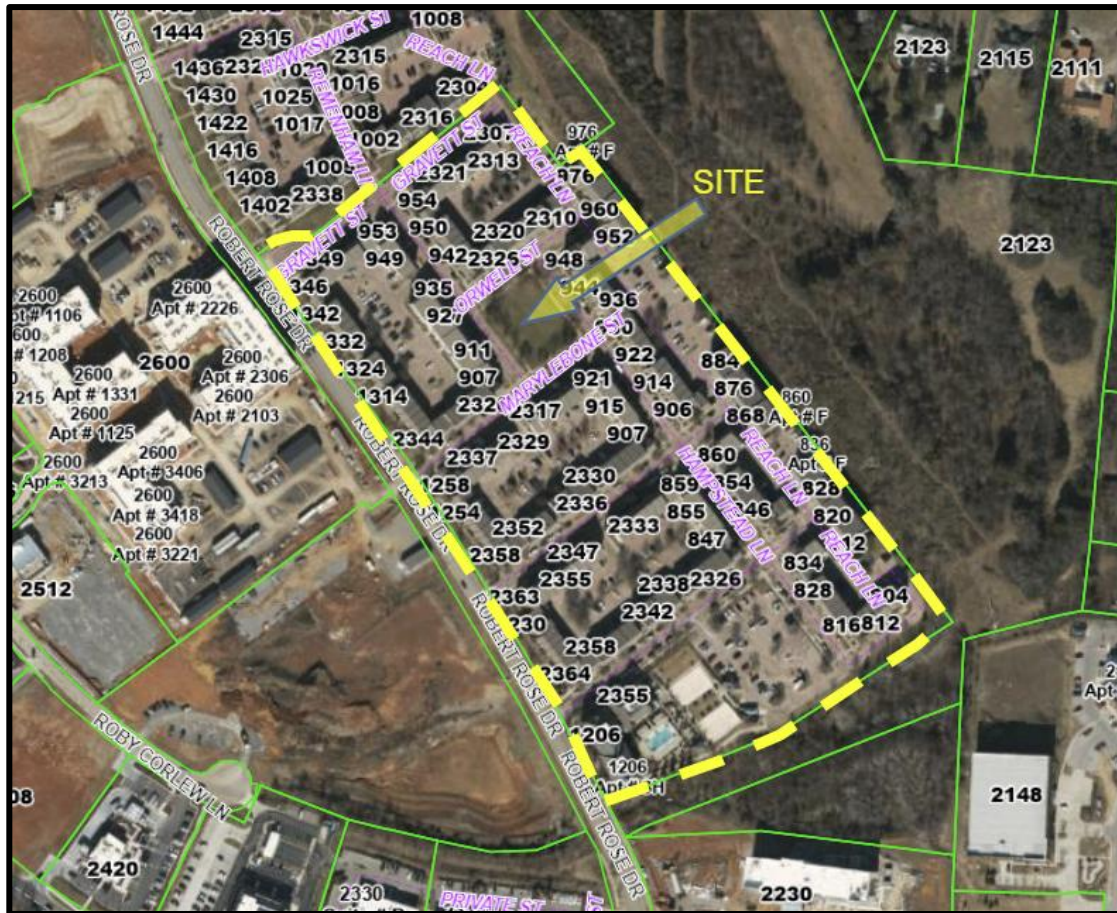
ISSUE DATE: 11/03/2025

11/03/2025

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
NOVEMBER 19, 2025
PROJECT PLANNER: AMELIA KERR**

6.a. LC Henley Apartments fence [2025-3115] site plan review and initial/final design review for fencing for dog park at an existing multi-family development on 20.03 acres zoned PUD and GDO-1 located along Robert Rose Drive, Master Fence developer. (Project Planner: Amelia Kerr)

This site plan review is for fencing at an existing multi-family development for a dog park on approximately 20.03 acres, zoned PUD & GDO-1 and is located at 1206-1346 Robert Rose Drive. All developments within the Gateway District Overlay (GDO) must have approval from Planning Commission. The attached site plan depicts the proposed fencing location. The Staff recommends any approval of this site plan be made subject to all staff comments.



Staff Comments

Development Services – Planning- 615-893-6441

Amelia Kerr, aekerr@murfreesborotn.gov

1. With prior to permit revised site plan resubmittal provide staff comment response letter with revisions noted and identified on the plan.
2. Provide revision dates with revisions chart.
3. This project must receive Planning Commission approval.
4. Any future re-submittals must be accompanied with a pdf version of the plan set.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

None

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

None

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

None

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

None

Consolidated Utility District

Will Steele, 615.225.3313, wsteele@ cudrc.com

None

Middle Tennessee Electric Membership Corporation

Ben Martin, 615.494.1621, murfreesborocity.engineering@mte.com

None

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

None

Murfreesboro Water Resources Department

David Pendley, 615.890.0862, dpendley@murfreesborotn.gov

None

Informational and Procedural Comments

Development Services – Planning 615-893-6441

Amelia Kerr, aekerr@murfreesborotn.gov

1. Per the engineer's certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (5/9/23) for the City of Murfreesboro.
2. This site plan is not affected by the City's Major Transportation Plan.
3. Designate an area on the plans for construction debris storage. Unkept sites shall not be permitted and may be subject to stop-work orders.
4. In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

None

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

None

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

None

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

1. The Planning Commission does not approve signage. A separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Teresa Stevens in the Building and Codes Department.

2. For proposed flagpole(s), the flagpole(s) shall be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for the flagpole(s) are established in the Sign Ordinance.
3. Any proposed ground and freestanding wall signs (monument style) require a pre-application meeting with Teresa Stevens.
4. Any ground sign or freestanding wall sign (monument sign) to be located within a public utility or drainage easement shall have a completed and recorded City of Murfreesboro revocable license agreement with easement holders.
5. All site and building signage shall be permitted and installed prior to issuance of Certificate of Occupancy. Proposed site signage to be installed shall be shown on utility and site plans. Proposed building signage shall be shown on elevation drawings.

Consolidated Utility District

Will Steele, 615.225.3313, wsteele@ cudrc.com

None

Middle Tennessee Electric Membership Corporation

Chris Barns, 615.494.0428, murfreesborocity.engineering@mte.com

None

Murfreesboro Fire and Rescue Department

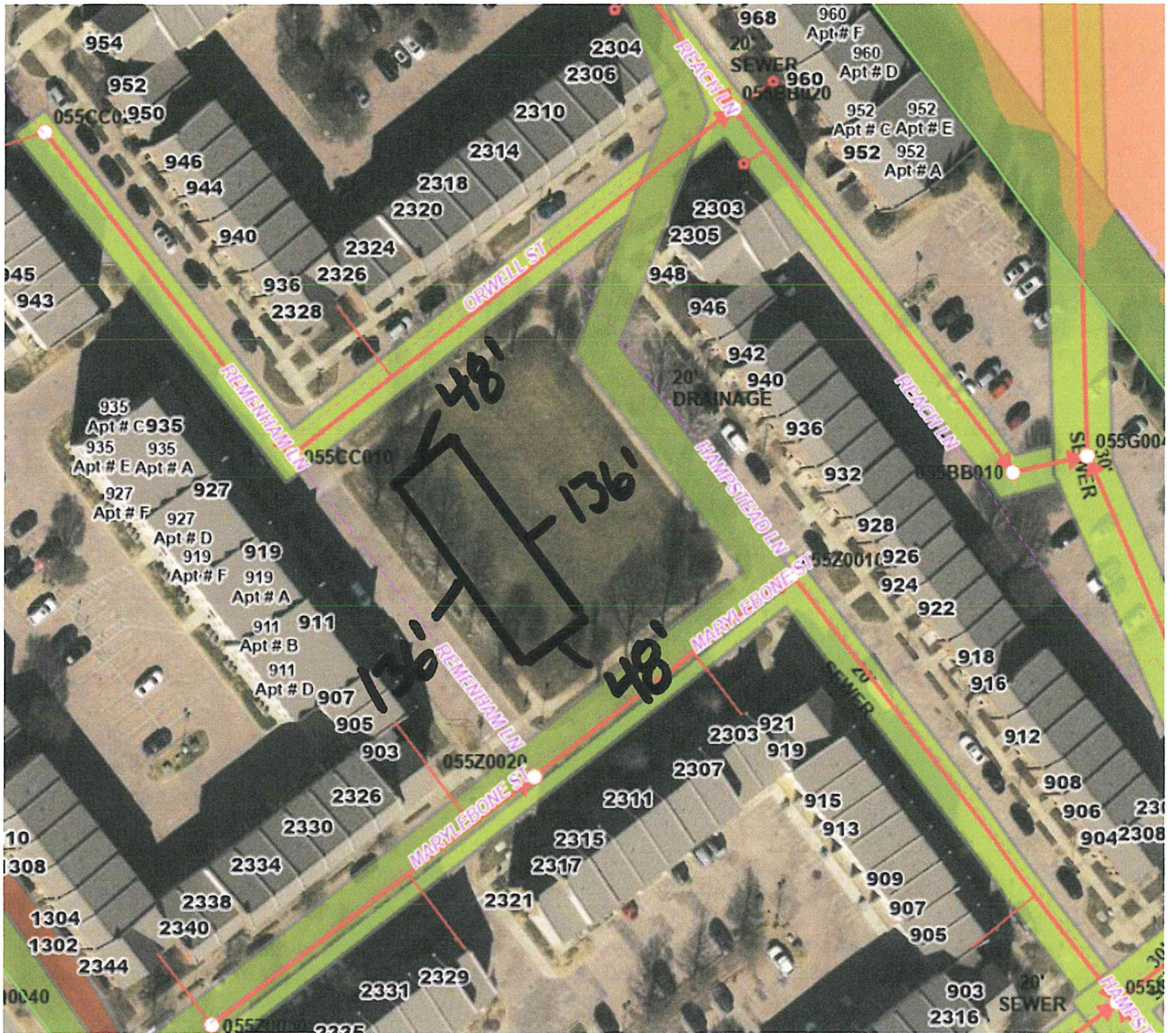
Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

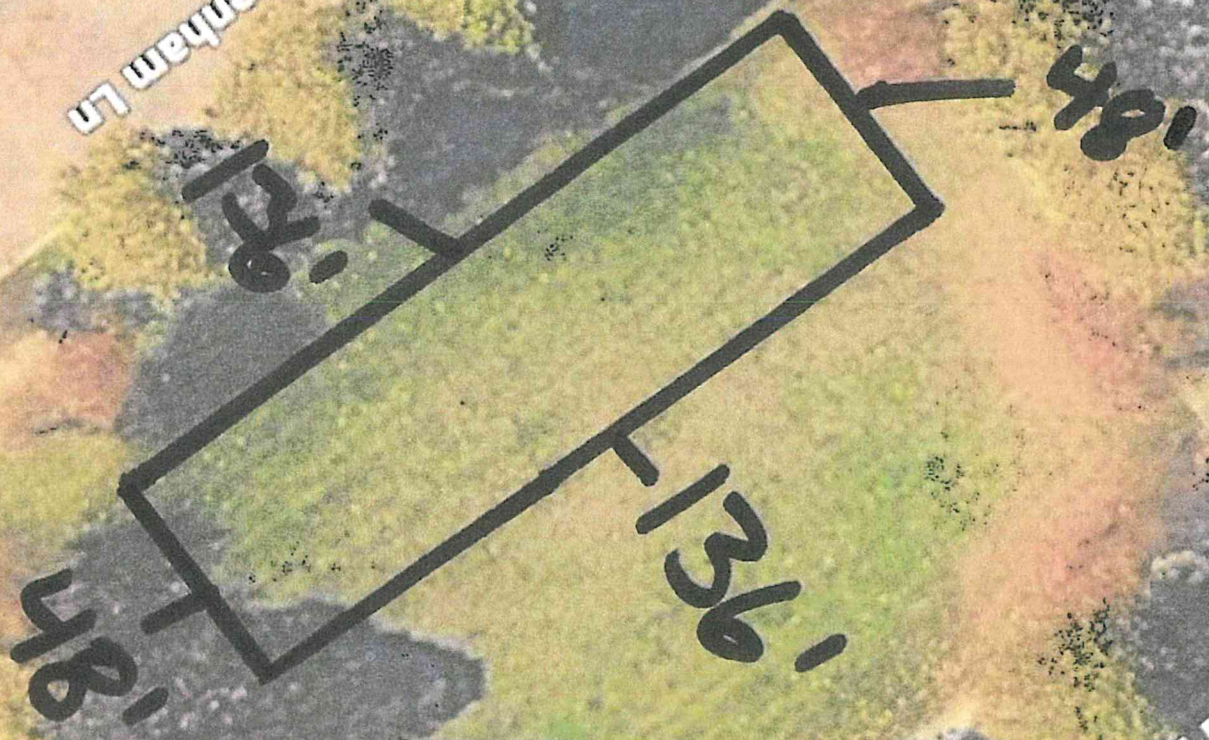
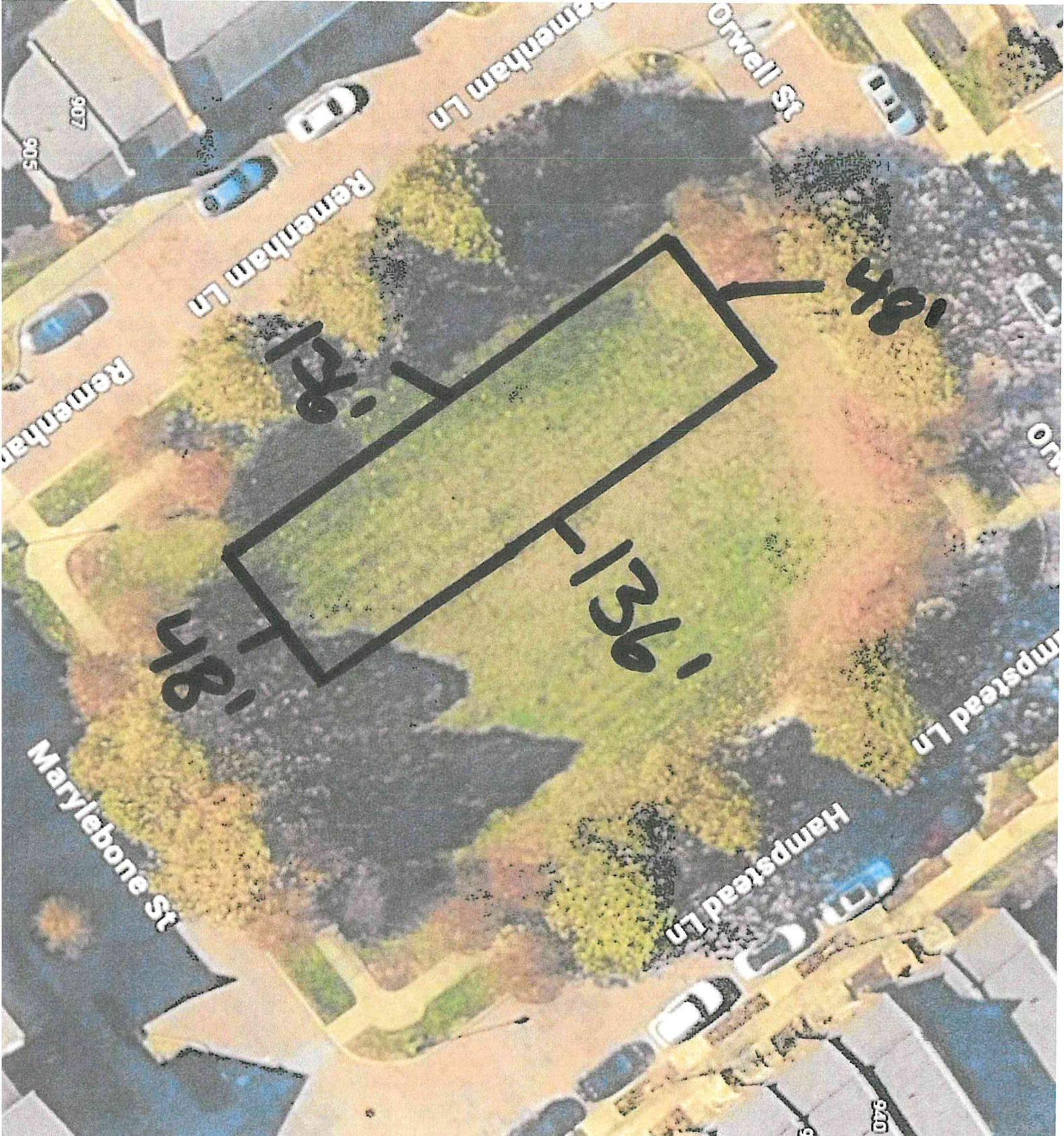
None

Murfreesboro Water Resources Department

David Pendley, 615.890.0862, dpendley@murfreesborotn.gov

None





Remenham Ln
Orwell St
Hampstead Ln
Marylebone St
907
905
920
93

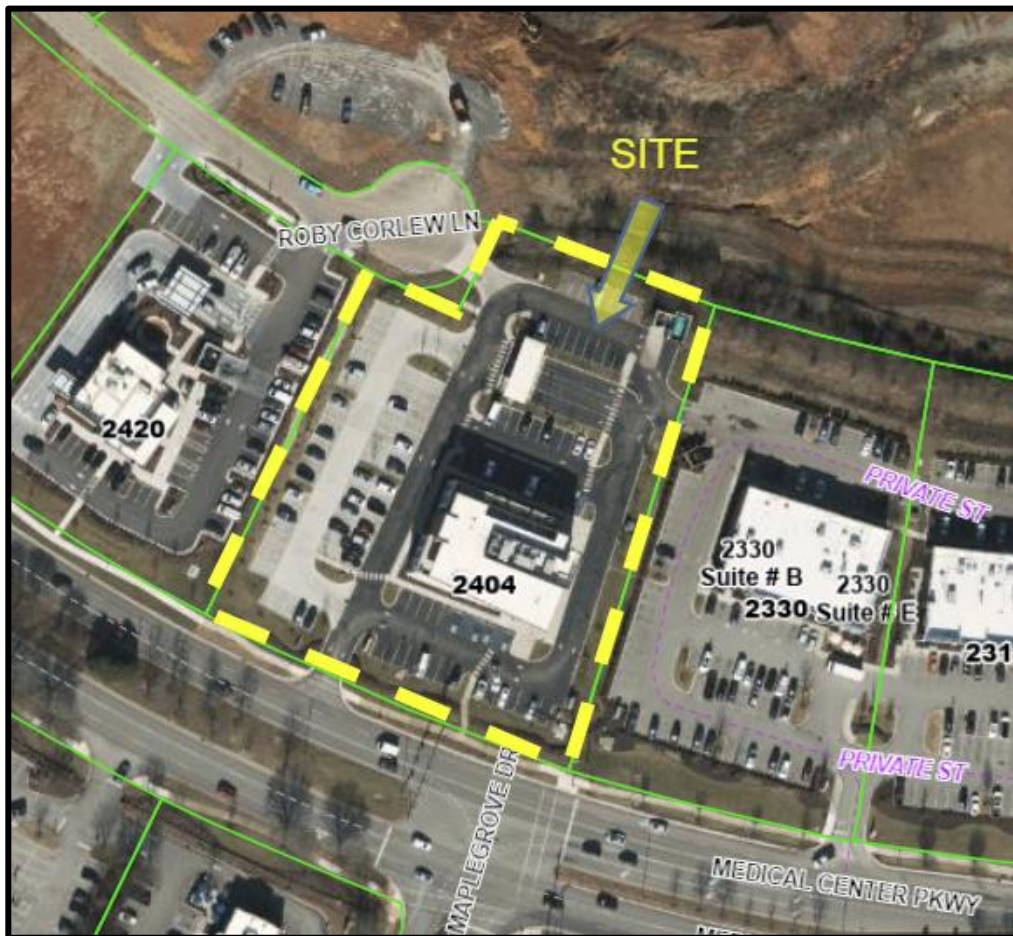


MASTER FENCE
615-682-8299

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
NOVEMBER 19, 2025
PROJECT PLANNER: AMELIA KERR**

6.b. Redstone Federal Credit Union fence [2025-3122] site plan review and initial/final design review for fencing at an existing credit union on 2.39 acres zoned MU, CH, and GDO-1 located at 2404 Medical Center Parkway, Redstone Federal Credit Union developer.

This site plan review is for fencing at an existing credit union development approximately 2.39 acres, zoned PUD & GDO-1 and is located at 2404 Medical Center Parkway. All developments within the Gateway District Overlay (GDO) must have approval from Planning Commission. The attached site plan depicts the proposed fencing location. The Staff recommends any approval of this site plan be made subject to all staff comments.



Staff Comments

Development Services – Planning- 615-893-6441

Amelia Kerr, aekerr@murfreesborotn.gov

1. With prior to permit revised site plan resubmittal provide staff comment response letter with revisions noted and identified on the plan.
2. Provide revision dates with revisions chart.
3. This project must receive Planning Commission approval.
4. Any future re-submittals must be accompanied with a pdf version of the plan set.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

None

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

None

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

None

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

None

Consolidated Utility District

Will Steele, 615.225.3313, wsteele@ cudrc.com

None

Middle Tennessee Electric Membership Corporation

Ben Martin, 615.494.1621, murfreesborocity.engineering@mte.com

None

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

None

Murfreesboro Water Resources Department

David Pendley, 615.890.0862, dpendley@murfreesborotn.gov

None

Informational and Procedural Comments

Development Services – Planning 615-893-6441

Amelia Kerr, aekerr@murfreesborotn.gov

1. Per the engineer's certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (5/9/23) for the City of Murfreesboro.
2. This site plan is not affected by the City's Major Transportation Plan.
3. Designate an area on the plans for construction debris storage. Unkept sites shall not be permitted and may be subject to stop-work orders.
4. In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

None

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

None

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

None

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

1. The Planning Commission does not approve signage. A separate permit from the Building and Codes Department is required for all signage, including flag signs. Contact Teresa Stevens in the Building and Codes Department.

2. For proposed flagpole(s), the flagpole(s) shall be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for the flagpole(s) are established in the Sign Ordinance.
3. Any proposed ground and freestanding wall signs (monument style) require a pre-application meeting with Teresa Stevens.
4. Any ground sign or freestanding wall sign (monument sign) to be located within a public utility or drainage easement shall have a completed and recorded City of Murfreesboro revocable license agreement with easement holders.
5. All site and building signage shall be permitted and installed prior to issuance of Certificate of Occupancy. Proposed site signage to be installed shall be shown on utility and site plans. Proposed building signage shall be shown on elevation drawings.

Consolidated Utility District

Will Steele, 615.225.3313, wsteele@ cudrc.com

None

Middle Tennessee Electric Membership Corporation

Chris Barns, 615.494.0428, murfreesborocity.engineering@mte.com

None

Murfreesboro Fire and Rescue Department

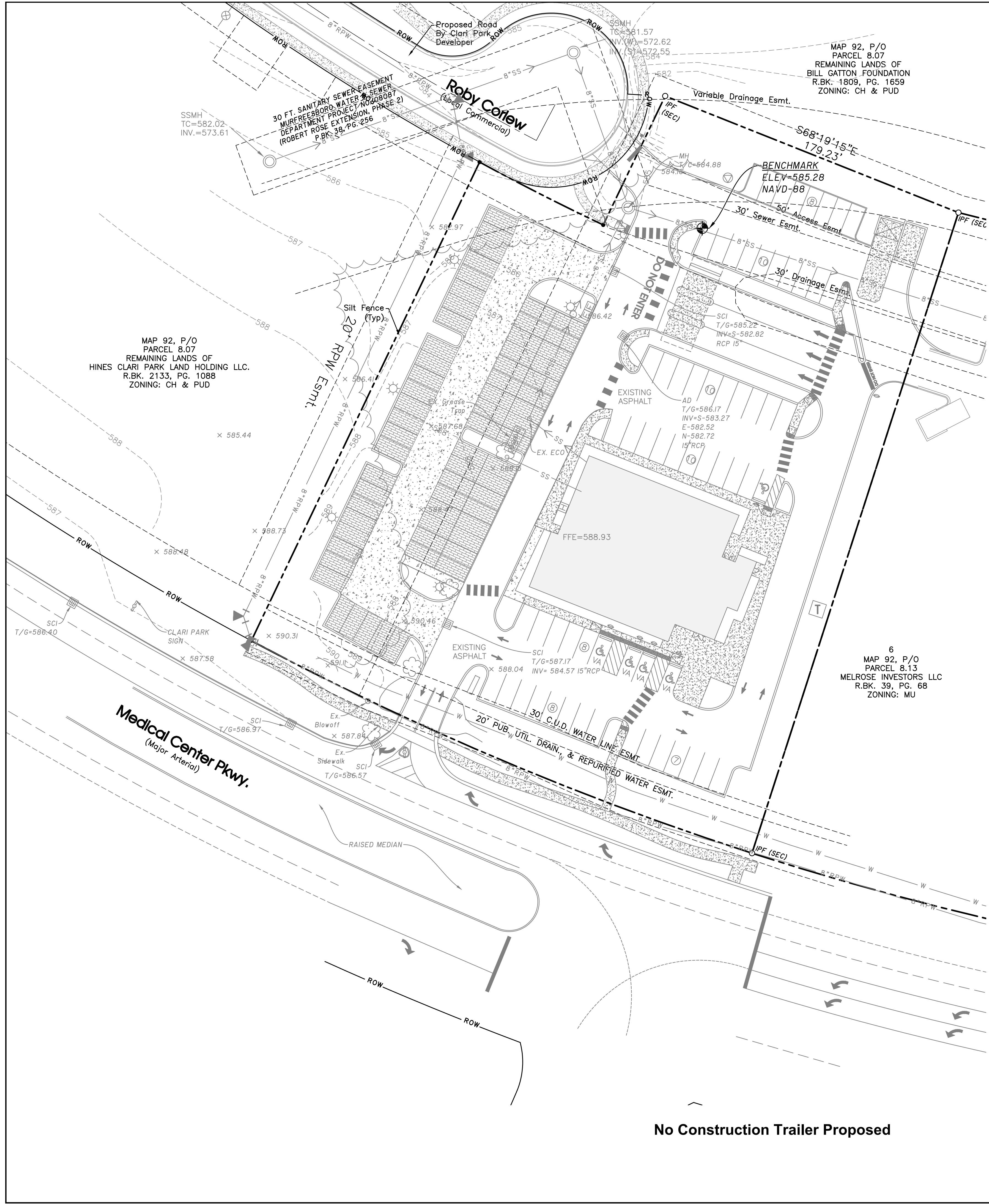
Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

None

Murfreesboro Water Resources Department

David Pendley, 615.890.0862, dpendley@murfreesborotn.gov

None



SWPPP Narrative:
 The existing site is located at the intersection of Medical Center Parkway and Maple Grove Dr. within Rutherford County in the City of Murfreesboro. The project site is a 1.81 Acre project and generally sheet flows from the south to the north. The site has been designed to discharge to existing downstream conveyance system to the northeast.
 The existing soils on site consist of approximately 8.6% Bradyville Silt Loam categorized as type C hydrologic soil group and 91.4% Harpeth Silt Loam and Lomond Silt Loam categorized as type B hydrologic soil group per published information by the National Resources Conservation Service. The pre-developed site has a runoff curve number of 94. The proposed improvements will increase the runoff curve number to 87.
 During demolition and mobilization, the sediment and stormwater runoff will be controlled with certain Best Management Practices (BMPs). Silt fence will be installed on the downslope sides of the site. The storm inlets will be protected with silt fence inlet protection until the stone base and pavements can be installed. A stone construction entrance will be installed upon mobilization of site to limit the tracking of mud and sediment onto the adjacent pavements and roadways. Covered dumpsters will be on site for disposal of trash and other debris. Paint and other potentially hazardous chemicals will be stored inside the building or otherwise approved weatherproof container. The contractor purchasing the materials will be responsible for legally disposing of the container. The contractor purchasing the materials will be responsible for legally disposing of the containers and excess materials in accordance with the manufacturers' recommendations. A washout area will be provided for the concrete trucks as required.
 It is the contractor's responsibility during construction to install and maintain all sedimentation and storm water pollution prevention BMPs described above and detailed within the plans at all times, which includes regular removal and disposal of accumulated debris. All erosion and sediment controls must be maintained properly until the site is stabilized. Maintenance must include inspections of all erosion and sediment controls after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair replacement, re-grading, reseeding, re-mulching and re-netting must be performed immediately. The developer will own and maintain the site after construction has been completed.

- Construction Sequence:**
1. Stake and/or flag limits of clearing.
 2. During preconstruction meeting all erosion & sediment control facilities & procedures shall be discussed.
 3. Clear & grub, as necessary, for installation of perimeter controls.
 4. Install silt fence perimeter controls as shown on plans.
 5. Install construction entrance and concrete washout facility, if conditions are such that mud is collecting on vehicle tires, the tires must be cleaned before the vehicles enter the public roadway. The site entrance shall be maintained in a condition that will prevent the tracking or flow of mud onto the public right-of-way. All materials spilled, dropped, washed or tracked from vehicles onto the roadway must be removed promptly.
 6. Clear & grub the remaining site as necessary.

EXISTING ON-SITE CONDITIONS

COVER	SCS CLASSIFICATION	AREA (Ac)
GRASS	MASS GRADED SITE D SOILS, CN=94	1.81
		COMPOSITE CN=94

PROPOSED ON-SITE CONDITIONS

COVER	SCS CLASSIFICATION	AREA (Ac)
BUILDING, SIDEWALK, PAVEMENT	PAVED PARKING LOTS, ROOFS, ETC. C-SOILS, CN=98	1.25
GRASS / LANDSCAPING	OPEN SPACE - GOOD CONDITION C-SOILS, CN=61	0.56
		COMPOSITE CN=87

PROPOSED BMP'S

BMP	TYPE
SEDIMENT CONTROL BARRIER	TEMPORARY, SEDIMENT CONTROL
CONSTRUCTION ENTRANCE	TEMPORARY, SEDIMENT CONTROL
VEGETATION	PERMANENT, EROSION PREVENTION
INLET PROTECTION	TEMPORARY, SEDIMENT CONTROL

INITIAL OUTFALLS

NUMBER	DESCRIPTION	AREA	SLOPE
1	CONSTRUCTION EXIT	0.05	1%
2	BOX CULVERT AT N.W. CORNER	1.76	1-2%

☆ Outfall

General Contractor Shall Install All Initial EPSC Measures Prior To Any Earthwork Beginning.

EPSC Phasing

Initial: Silt Fence Along Downgradient Perimeter Construction Entrance Temp. Conc. Washout

Final: Landscaping & Grass Sod Of All Pervious Areas (See Landscaping Plan)

Notes:
 Staging Area, Worker Parking & Adjoining Drive To Be Constructed Of Stone.
 Staging Area is To Be Kept Litter Free With Daily Cleanup. In Addition, All Stored Materials Are To Be Kept In Organized & Stacked Fashion. An unkempt site will not be permitted, and if debris is stored in areas outside of the designated storage area, City Staff will shut down the job site.
 All Construction Signage Is To Be Constructed Of 2-4"x4" Painted Posts.
 Sign #1 - Display Surface Can Be No More Than 32 S.F. & Must Be Less Than 9 Ft. Tall.

Notes:
 Soils Survey Information Shown Here On Is Taken From The National Resources Conservation Service Web Soil Survey.

Contractor To Coordinate With The Traffic Engineer In The City Transportation Department Prior To Commencement Of Work In The Area To Avoid Damage To Traffic Signal Devices. Contact Ram Balachandran @ 615-893-6441

No Construction Trailer Proposed

Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	→	HC SIGN
—	EXIST. SEWER CLEANOUT	→	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	●	CONCRETE BOLLARD
⊖	EXIST. CATCH BASIN (STORM SEWER)	—	WHEEL STOP
⊗	EXIST. WATER/GAS VALVE	—	CONCRETE SIDEWALK
⊕	EXIST. TELEPHONE RISER	—	EXTRUDED CURB
⊕	EXIST. GAS RISER	—	CURB & GUTTER
⊕	ELECTRICAL ENCLOSURE	→	TRAFFIC ARROW
⊕	EXIST. WATER METER	→	TURN LANE ARROWS
○	EXIST. UTILITY POLE	⚠	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	POST INDICATOR VALVE	A	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	⊗	RIP RAP
⊕	REDUCER	→	RUNOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. CONNECTION	→	INLET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	63.25	PROPOSED SPOT ELEVATION
⊕	DOUBLE DETECTOR CHECK VALVE	(63.25)	EXIST. SPOT ELEVATION
⊕	FIRE DEPT. CONNECTION	X	SEWER/STORM FLOW DIRECTION
⊕	FIRE HYDRANT	■	CATCH BASIN
⊕	GATE VALVE & BOX	■	CURB INLET
⊕	WATER METER	●	AREA DRAIN
⊕	GAS METER	—	HEADWALL
⊕	GREASE TRAP	→	WINGED HEADWALL
○	EXTERIOR CLEANOUT ECD	→	CONCRETE SWALE
○	MANHOLE	⊗	TYPE - X - HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF SF
EROSION EEL	E E E
EXISTING TREE LINE	~ ~ ~
EXISTING FENCE LINE	X X X X
MINIMUM BUILDING SETBACK LINE	---
PHASE BOUNDARY	-----
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM STM
PROPOSED STORM	STM STM
EXISTING CONTOUR LINES	---601---
PROPOSED CONTOUR LINES	---601---
EXISTING SANITARY SEWER	SS SS
PROPOSED SANITARY SEWER	SS SS
EXISTING WATER	W W
PROPOSED WATER	W W

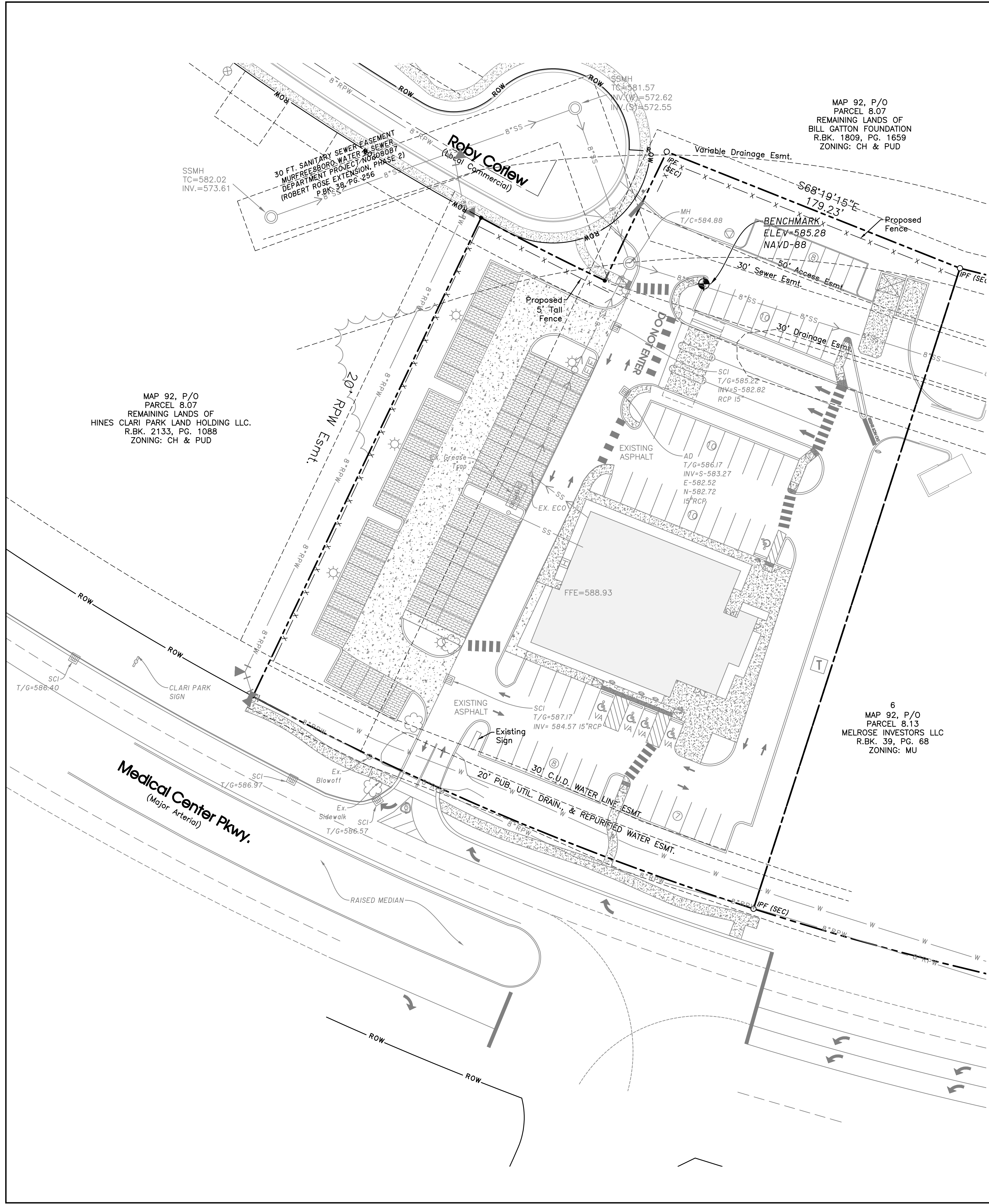
811
 Know what's below.
 Call before you dig.

SEC, Inc.
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE
 850 MIDDLE TENNESSEE BOULEVARD
 MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 890-7901
 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 895-2567
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF SEC, INC.
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Redstone Federal Credit Union
Fence Addition
 Murfreesboro, Tennessee

Existing Conditions & Initial EPSC Plan

REVISIONS:
 DRAWN: SJA
 DATE: 10-16-2025
 CHECKED:
 MAT
 FILE NAME:
 13260redstone25
 SCALE:
 1"=30'
 JOB NO.
 13260
 SHEET:
C1.0



Owner/Developer:
 Redstone Federal Credit Union
 220 Wynn Dr.
 Huntsville, AL 35893

Deed Reference:
 Tax Map 92, Parcel 8.12
 R.Bk. 1534, Pg. 1581
 P.Bk. 39, Pg. 68, Lot 7

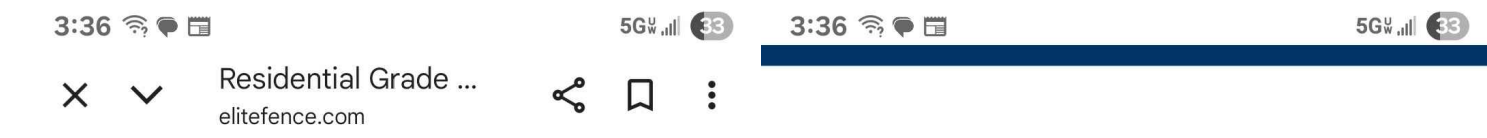
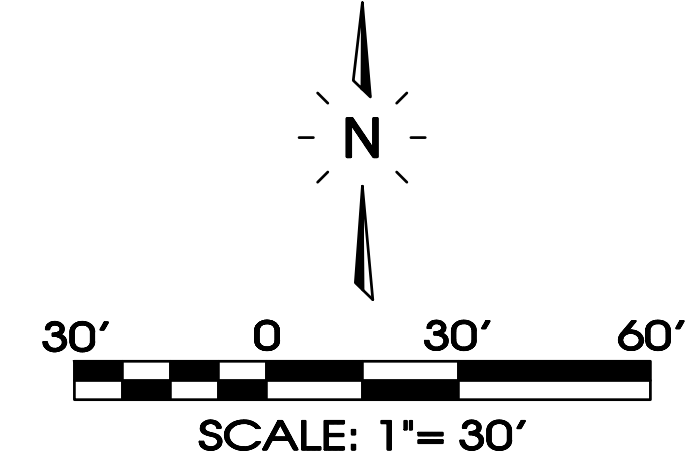
Yard Requirements:
 Front: 15' (Along Local Streets)
 50' (Along Medical Center Parkway)
 Side: 10'
 Rear: 20'

Intended Use:
 Bank Branch (With Drive-Thru), Office Building

Land Use Data:
 Zoned: MU
 3-Story Building (Existing)
 Building Ht.: 48'-0" (Existing)
 Net Floor Area: 18,560 Sq.Ft. (Existing)
 1 Lot on: 2.39± Acres

Parking Requirement:
 $\frac{1}{300}$ x 18,560 Sq.Ft. = 62 Spaces Required
 Existing Spaces Provided: 58 Regular + 3 H.C. = 61 Existing Spaces
 Proposed: 63 Regular + 2 H.C. = 65 Spaces
 Total Spaces: 121 Regular + 5 H.C. = 126 Total Spaces

Flood Map No.:
 This site lies within Zone X, not in the
 100 Year Floodplain, per Community Panel
 47149C0260H dated January 5, 2007.



SPECIFICATIONS

Residential Specs	
Post	2" x 2" x .060 Wall 2" x 2" x .080 Wall 2" x 2" x .125 Wall 2-1/2" x 2-1/2" x .100 Wall
Horizontal Rails	1-1/8" x 1"
Enclosed Bottom	N/A
Slide Walls	.082
Top Walls	.062
Pickets	5/8" x 5/8" x .050 Wall 5/8" x 3/4" x .050 Wall 5/8" x 1" x .050 Wall
Picket Spacing	3-13/16" or 1-5/8"
Heights	3, 3 1/2, 4, 4 1/2, 5, & 6 Feet
Panel Length	6'



Legend:			
□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	⊕	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	+	HC SIGN
+	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	●	CONCRETE BOLLARD
⊕	EXIST. CATCH BASIN (STORM SEWER)	⊕	WHEEL STOP
⊕	EXIST. WATER/GAS VALVE	⊕	CONCRETE SIDEWALK
⊕	EXIST. TELEPHONE RISER	⊕	EXTRUDED CURB
⊕	EXIST. GAS RISER	⊕	CURB & GUTTER
⊕	ELECTRICAL ENCLOSURE	➔	TRAFFIC ARROW
⊕	EXIST. WATER METER	➔	TURN LANE ARROWS
⊕	EXIST. UTILITY POLE	⊕	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	POST INDICATOR VALVE	⊕	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	⊕	RIP RAP
⊕	REDUCER	➔	RUNOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. CONNECTION	⊕	INLET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	⊕	PROPOSED SPOT ELEVATION
⊕	DOUBLE DETECTOR CHECK VALVE (63.25)	⊕	EXIST. SPOT ELEVATION
⊕	FIRE DEPT. CONNECTION	➔	SEWER/STORM FLOW DIRECTION
⊕	FIRE HYDRANT	⊕	CATCH BASIN
⊕	GATE VALVE & BOX	⊕	CURB INLET
⊕	WATER METER	⊕	AREA DRAIN
⊕	GAS METER	⊕	HEADWALL
⊕	GREASE TRAP	⊕	WINGED HEADWALL
⊕	EXTERIOR CLEANOUT ECD	⊕	CONCRETE SWALE
⊕	MANHOLE	⊕	TYPE- X- HEADWALL
⊕	EXISTING PHONE	PH	
⊕	EXISTING ELECTRIC	OH	
⊕	PROPERTY LINE	---	
⊕	EASEMENTS	---	
⊕	RIGHT OF WAY	---	
⊕	EROSION CONTROL SILT FENCE	SF SF SF	
⊕	EROSION EEL	E E E	
⊕	EXISTING TREELINE	~ ~ ~	
⊕	EXISTING FENCELINE	- X - X - X - X -	
⊕	MINIMUM BUILDING SETBACK LINE	---	
⊕	PHASE BOUNDARY	-----	
⊕	EXISTING GAS LINE	---	GAS
⊕	PROPOSED GAS LINE	---	GAS
⊕	EXISTING STORM	---	STM STM
⊕	PROPOSED STORM	---	STM STM
⊕	EXISTING CONTOUR LINES	---	601
⊕	PROPOSED CONTOUR LINES	---	601
⊕	EXISTING SANITARY SEWER	---	SS SS
⊕	PROPOSED SANITARY SEWER	---	SS SS
⊕	EXISTING WATER	---	W W
⊕	PROPOSED WATER	---	W W

SEC, Inc.
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE
 850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 895-2567
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 COPYRIGHT SEC, INC., 2025

Redstone Federal Credit Union
Fence Addition
 Murfreesboro, Tennessee

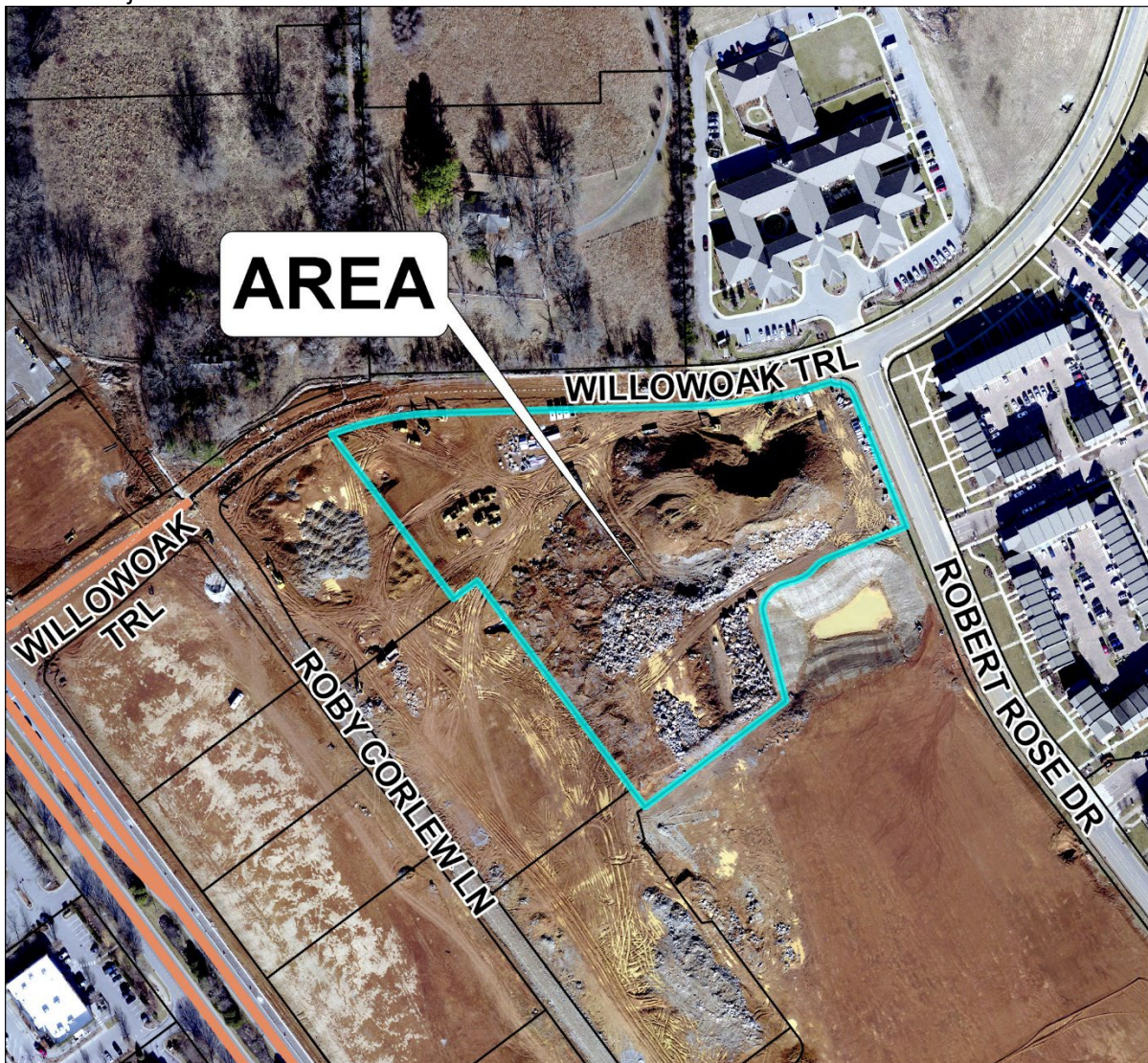
Site Plan

DRAWN: SJA
 DATE: 10-16-2025
 CHECKED:
 MAT
 FILE NAME:
 13260redstone25
 SCALE:
 1"=30'
 JOB NO.
 13260
 SHEET:
C2.0

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
NOVEMBER 19, 2025
PROJECT PLANNER: BRAD BARBEE**

6.c. Clari Park, Lot 16 [2025-1019] preliminary plat for 3 lots on 6.44 acres zoned CH, PUD, and GDO-1 located along Willowoak Trail, Hines Clari Park Land Holdings, LLC developer.

This is the preliminary plat review for Clari Park Lot 16. The property is zoned CH, PUD, and GDO-1. The purpose of this plat is to create 3 lots on 6.44. This preliminary plat approval shall not confer a vested right to proceed with development of the property as shown on the preliminary plat but rather shall authorize the applicant to submit construction plans in accordance with said approval and the requirements of the Subdivision Regulations. Staff recommend that any approval of this preliminary plat be made subject to all staff comments.



Staff Comments

Development Services – Planning

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) The temporary improvements proposed for this lot must be removed and the lot must be restored prior to the issuance of any permits.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

- 1) Pipe slopes in drainage calculations should match slopes listed on grading and drainage plans. Drainage calculations were not included with the resubmittal for verify if this comment has been addressed.
- 2) Pipe sizes in drainage calculations should match sizes listed on grading and drainage plans. Drainage calculations were not included with the resubmittal for verify if this comment has been addressed.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

- 1) No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750 tstevens@murfreesborotn.gov

- 1) No Comments

Consolidated Utility District

William Steele, 615.225.3311, wsteele@ cudrc.com

- 1) *CUD/MTE/MWRD review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until CUD/MTE/MWRD has issued its formal approval. The plans shall comply with all applicable CUD/MTE/MWRD standards*

Middle Tennessee Electric Membership Corporation

Chris Barns, 615.494.0428, chrisbarns@mte.com

- 2) *CUD/MTE/MWRD review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until CUD/MTE/MWRD has issued its formal approval. The plans shall comply with all applicable CUD/MTE/MWRD standards*

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

- 1) No Comments

Murfreesboro Water Resources Department

George Reagan, 615.890.0862, greagan@murfreesborotn.gov

- 1) Submit Final Plat to MWRD for review. Prior to sending, field-locate, survey, and include on the plat any newly installed and/or existing water/sewer/repurified water mains, service stubs, meters, and cleanouts (appurtenances). This plat will be overlaid into GIS to check easements and whether the appurtenances are within the easements.
- 2) If existing public sewer located on-site has had easements recorded for it already, please show its extents and recording location on the plat. If easements to be recorded with this plat, please ensure this existing sewer is fully contained within the platted sewer easements (meeting MWRD minimum easement width policies). Revise easement labelling to reflect difference between existing easements and those to be platted herein.
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- 4) Since this subdivision requires new public sewer main extensions to serve it, posting surety will likely be required to approve/record this plat. Surety amounts depend on progress of this public sewer construction. Said public sewer construction needs to be tested.

Informational and Procedural Comments

Development Services – Planning

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) Per the engineer's certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
- 2) This site plan is not affected by the City's Major Transportation Plan.
- 3) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

- 1) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Engineering Department and must be approved by the city engineer.
- 2) Prior to a land disturbance permit, provide a stormwater pollution prevention plan (SWPPP) to be reviewed and approved by the City Engineer prior to any permit. Include provisions for erosion and sediment control with details in general compliance with the TDEC Erosion and Sediment Control Handbook Fourth Edition.
- 3) Prior to Land Disturbance Permit being issued, a long-term operation and maintenance plan and associated agreement must be reviewed and approved by the Murfreesboro Water Resources Department

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

- 1) No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

- 1) The Planning Commission does not approve signage. Any signage that is shown on exterior building elevations, renderings, or site plans are not approved when those plans are reviewed as a function of the site plan and plat review processes.
- 2) Sign permits and reviews are a separate approval process, please reach out to Sign Administrator, Teresa Stevens at tstevens@murfreesborotn.gov for additional information.

- 3) Sign reviews can include temporary signs, attached signs, and ground signs. Strip lighting that is placed under an eave and outline lighting placed on the exterior of a building or canopy may be considered signs and require a separate review as well.
- 4) For proposed flagpole(s), the flagpole(s) shall be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for the flagpole(s) are established in the Sign Ordinance.
- 5) Any ground sign or freestanding wall sign (monument sign) to be located within a public utility or drainage easement shall have a completed and recorded City of Murfreesboro revocable license agreement with easement holders.
- 6) Any site and building signage installed prior to issuance of Certificate of Occupancy must have a sign permit issued. Any signs installed without a sign permit will delay your Certificate of Occupancy.
- 7) Proposed site signage to be installed shall be shown on utility and site plans. Proposed building signage shall be shown on elevation drawings.

Consolidated Utility District

William Steele, 615.225.3311, wsteelecudrc.com

- 1) No Comments

Middle Tennessee Electric Membership Corporation

Chris Barns, 615.494.0428, chrisbarns@mte.com

- 1) No Comments.

Murfreesboro Fire and Rescue Department

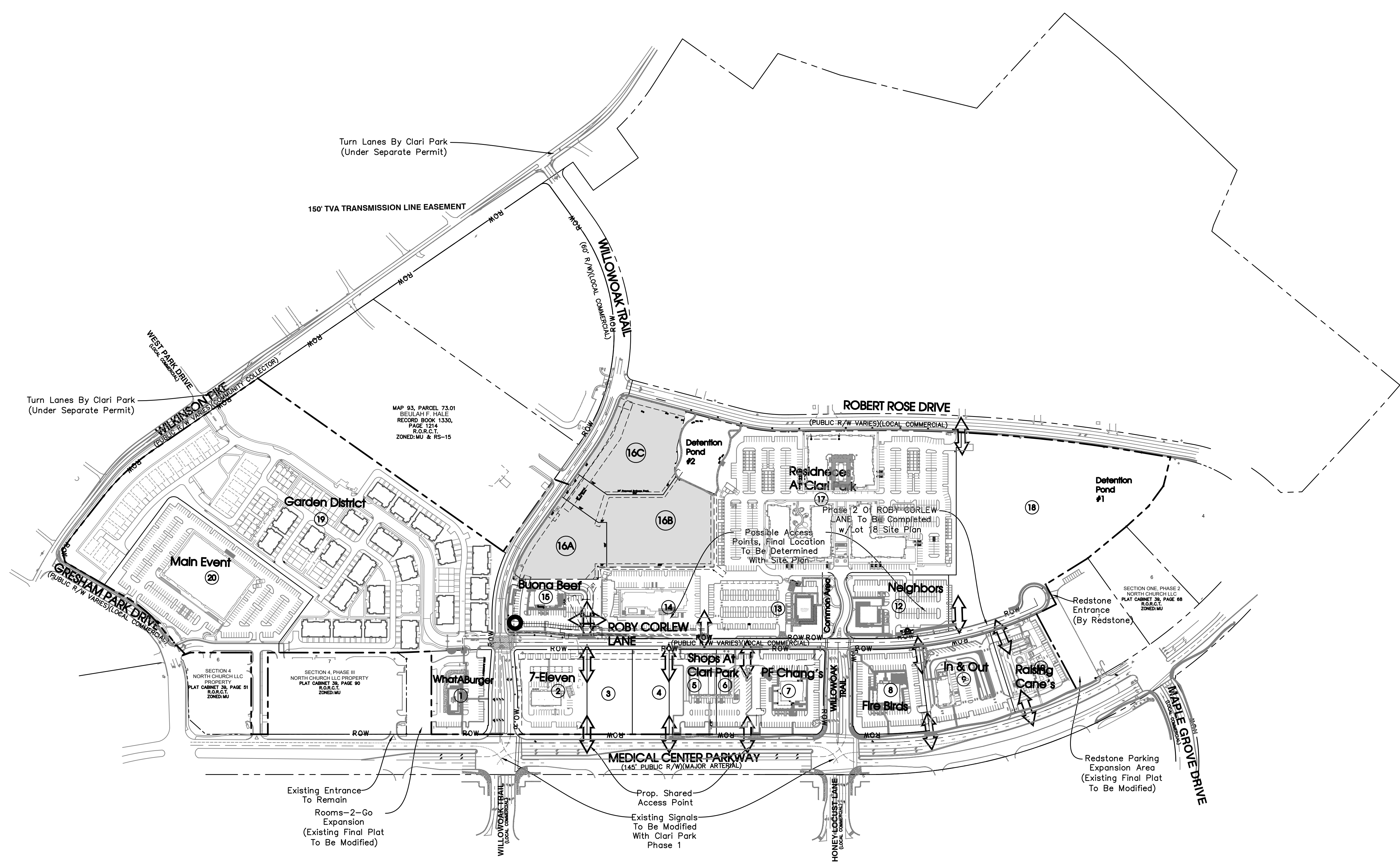
Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

- 1) No Comments

Murfreesboro Water Resources Department

Anita Heck, 615.890.0862, aheck@murfreesborotn.gov

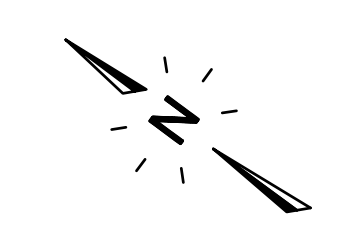


- 1) No Comments



Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	♿	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	⊕	HC SIGN
⊕	EXIST. SEWER CLEANOUT	⊕	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	●	CONCRETE BOLLARD
⊕	EXIST. CATCH BASIN (STORM SEWER)	⊕	WHEEL STOP
⊕	EXIST. WATER/GAS VALVE	⊕	CONCRETE SIDEWALK
⊕	EXIST. TELEPHONE RISER	⊕	EXTRUDED CURB
⊕	EXIST. GAS RISER	⊕	CURB & GUTTER
⊕	ELECTRICAL ENCLOSURE	➔	TRAFFIC ARROW
⊕	EXIST. WATER METER	➔	TURN LANE ARROWS
○	EXIST. UTILITY POLE	⊕	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	POST INDICATOR VALVE	A	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	⊕	RIP RAP
⊕	REDUCER	➔	RUNOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. CONNECTION	⊕	INLET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	⊕	PROPOSED SPOT ELEVATION
⊕	DOUBLE DETECTOR CHECK VALVE (63.25)	⊕	EXIST. SPOT ELEVATION
⊕	FIRE DEPT. CONNECTION	➔	SEWER/STORM FLOW DIRECTION
⊕	FIRE HYDRANT	⊕	CATCH BASIN
⊕	GATE VALVE & BOX	⊕	CURB INLET
⊕	WATER METER	⊕	AREA DRAIN
⊕	GAS METER	⊕	HEADWALL
⊕	GREASE TRAP	⊕	WINGED HEADWALL
○	EXTERIOR CLEANOUT ECO	⊕	CONCRETE SWALE
○	MANHOLE	⊕	TYPE- X- HEADWALL

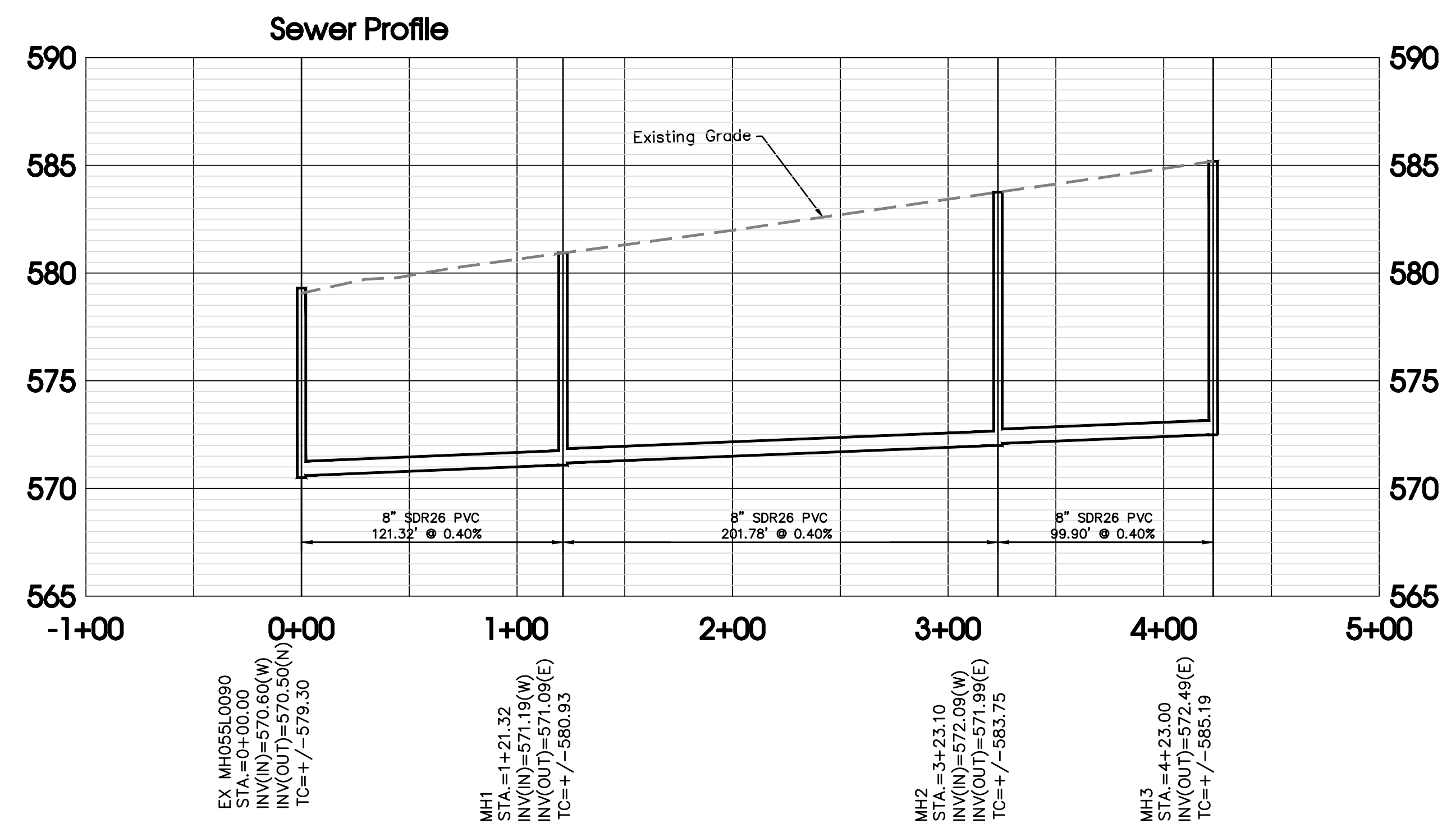
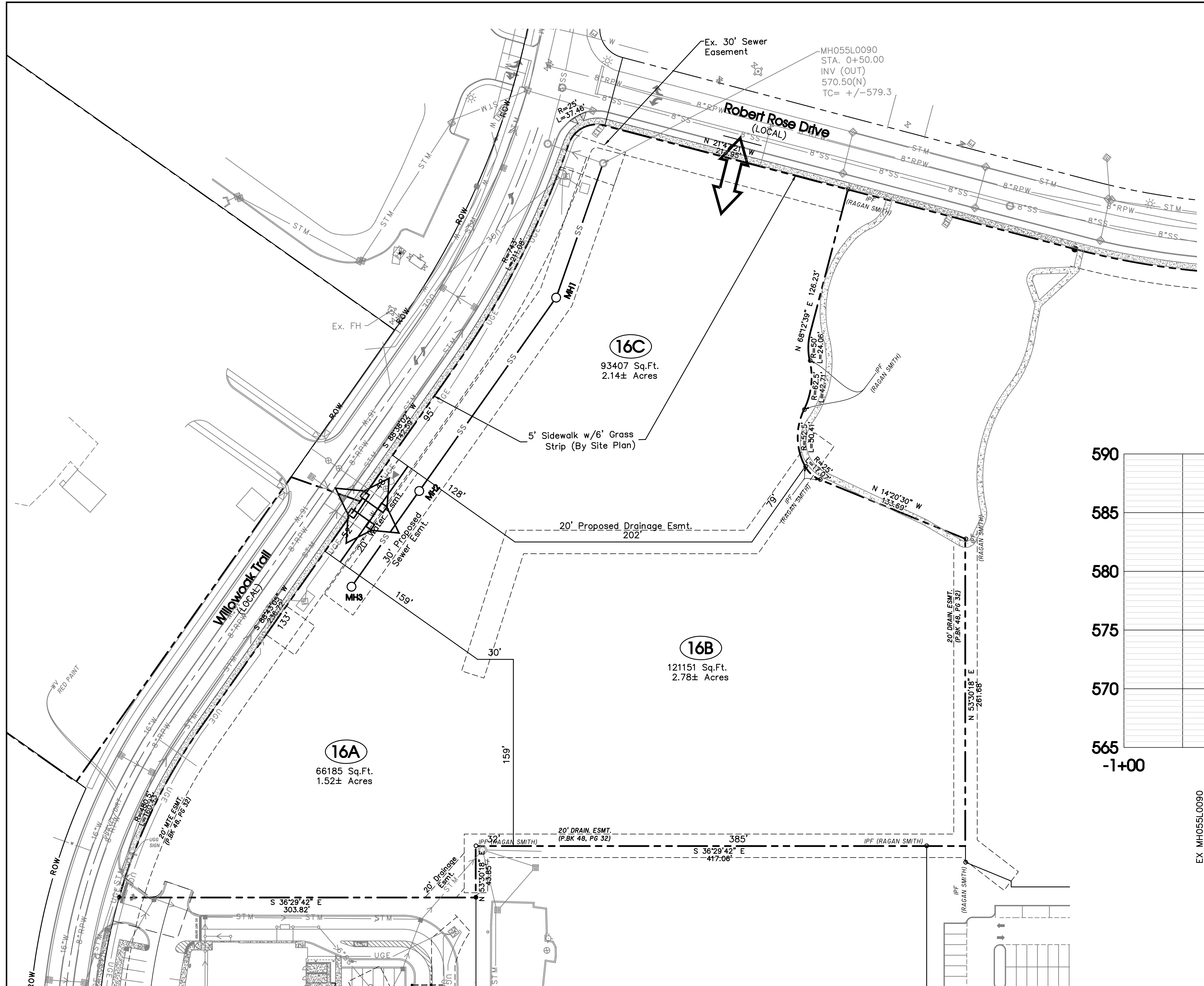
EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EROSION EEL	E E E
EXISTING TREE LINE	~ ~ ~
EXISTING FENCE LINE	- X - X - X - X
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	■■■■■■■■■■
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	601
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W W
PROPOSED WATER	W W



 SCALE: 1" = 200'

 Know what's below.
 Call before you dig.

SEC, Inc.
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 MURFREESBORO, TENNESSEE 37129
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REVIEW SET
 (Not intended for construction)
 Clari Park Subdivision
 Lot 16
 Murfreesboro, Tennessee

REVISIONS:
 DRAWN: SJA
 DATE: 8-15-2025
 CHECKED:
 MAT
 FILE NAME:
 14358lot16
 SCALE:
 1" = 200'
 JOB NO.
 14358
 SHEET:
C0.3
Master Plan



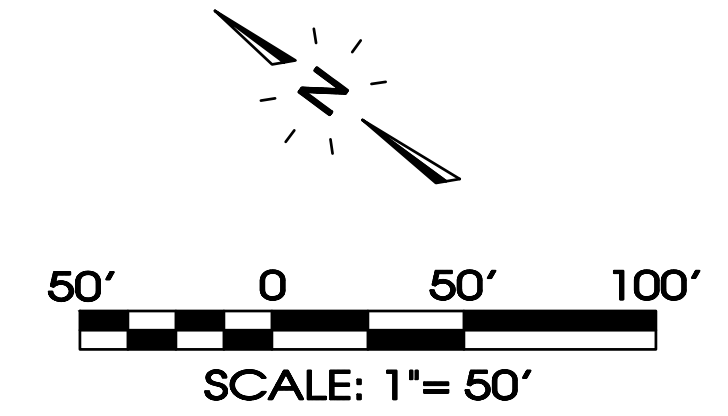
- NOTES:**
- 1) Sidewalks and streetscape elements will be responsibility of lot owner/builder unless otherwise noted on the plans.
 - 2) MPE's are due to Local Drainage.
 - 3) All street signs shall meet MUTCD Requirements. Coordinate with City Traffic Engineer.
 - 4) Sanitary Service lines must be installed prior to construction of dry utilities.
 - 5) All pavement markings must be in thermoplastic material.
 - 6) Proposed stamped & Colored Crosswalk (Chromix Admixture Quarry Red in Herringbone Pattern w/Single Soldier Border in Charcoal) For Asphalt Crosswalks.

Electrical Legend

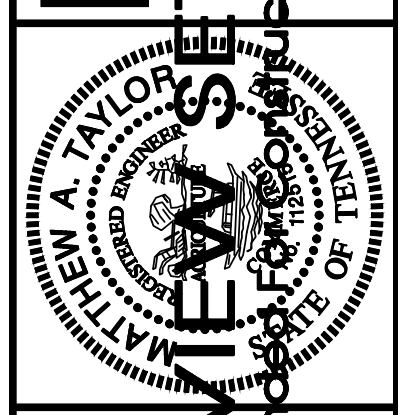
	TRANSFORMER 36"x40"
	MANHOLE
	STREET LIGHT
	SWITCHER
	PRIMARY PULLBOX
	SECONDARY PULLBOX 24" x 36"
	CONDUIT-SEE NOTE
	3 PH Sector Cabinet
	SWITCH BOX

The proposed electrical, gas, water and telecommunications information shown hereon is not an actual design to be used for construction, and is for reference and illustrative purposes only. The contractor shall refer to the actual final design for each proper discipline (electrical, civil, mechanical, etc.) with the Tennessee professional engineer's seal, for precise design information.

Repurified Water Design/Provider: MWRD
 Sewer Design/Provider: MWRD
 Water Design/Provider: Consolidated Utility District Of Rutherford County
 Electrical Design/Provider: MTEMC
 Gas Line Design/Provider: ATMOS Energy



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Clari Park Subdivision
 Lot 16
 Murfreesboro, Tennessee

REVISIONS:	
DRAWN: SJA	
DATE: 8-15-2025	
CHECKED:	
MAT	
FILE NAME:	14358lot16
SCALE:	1" = 50'
JOB NO.	14358
SHEET:	C1.0

Preliminary Plat

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
NOVEMBER 19, 2025
PROJECT PLANNER: BRAD BARBEE**

6.d. Promenade at Clari Park, Phase 2 [2025-2082] horizontal property regime plat for 88 dwelling units zoned PUD and GDO-1 located along Willowoak Trail, Ashton Nashville Residential, LLC developer.

This is the final plat review for Promenade at Clari Park; Phase 2 located along Willowoak Trail. The property is zoned PUD and GDO-1. The purpose of this horizontal property regime plat is to create one lot of record with 88 dwelling units.



Staff Comments

Development Services – Planning

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) No comments

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

- 1) No Comments

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

- 1) No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750 tstevens@murfreesborotn.gov

- 1) No Comments

Consolidated Utility District

William Steele, 615.225.3311, wsteele@ cudrc.com

- 1) *CUD/MTE/MWRD review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until CUD/MTE/MWRD has issued its formal approval. The plans shall comply with all applicable CUD/MTE/MWRD standards*

Middle Tennessee Electric Membership Corporation

Chris Barns, 615.494.0428, chrisbarns@mte.com

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Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

- 1) No Comments

Murfreesboro Water Resources Department

George Reagan, 615.890.0862, greagan@murfreesborotn.gov

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Informational and Procedural Comments

Development Services – Planning

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) Per the engineer's certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
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Development Services – Engineering

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- 1) No Comments

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

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- 1) No Comments

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Consolidated Utility District

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- 1) No Comments

Middle Tennessee Electric Membership Corporation

Chris Barns, 615.494.0428, chrisbarns@mte.com

- 1) No Comments.

Murfreesboro Fire and Rescue Department

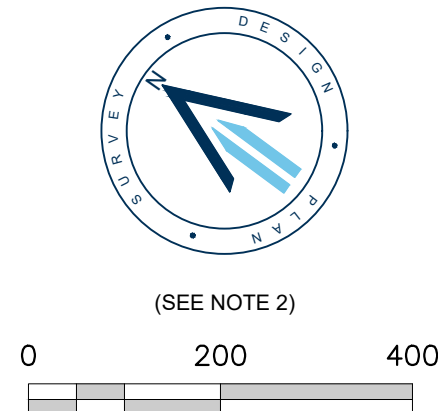
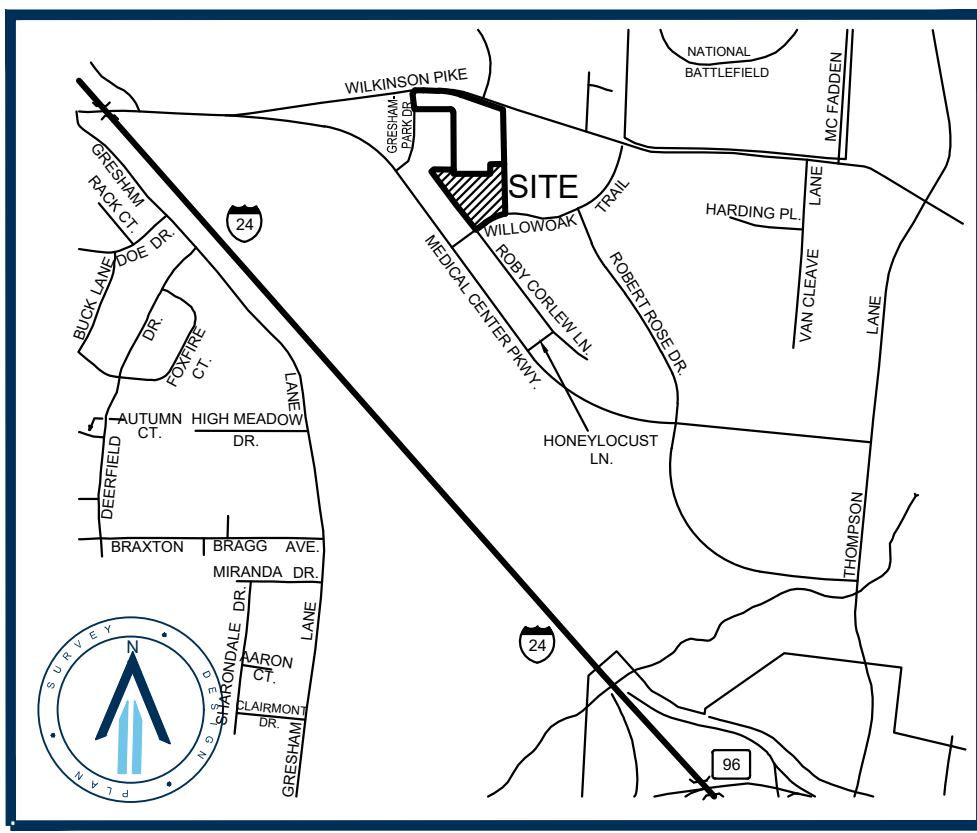
Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

- 1) No Comments

Murfreesboro Water Resources Department

Anita Heck, 615.890.0862, aheck@murfreesborotn.gov

- 1) No Comments



LOCATION MAP (NOT TO SCALE)

GENERAL NOTES

- 1. THE PURPOSES OF THIS PLAT ARE AS FOLLOWS: 1) TO CREATE THE SECOND PHASE OF A HORIZONTAL PROPERTY REGIME CONTAINING EIGHTY-EIGHT (88) TOWNHOME UNITS WITHIN NINETEEN (19) BUILDINGS WITH COMMON AREA AND LIMITED COMMON ELEMENTS IN ACCORDANCE WITH THE TENNESSEE HORIZONTAL PROPERTY ACT TO ENABLE LOTS AND/OR UNITS TO BE CONVEYED IN SIMPLE TITLE; AND 3) TO RECORD EASEMENTS, AS SHOWN. NO SUBDIVISION OF LAND IS BEING CREATED BY THIS PLAT.

PUD SETBACKS: FRONT - 15' SIDE - 5' REAR - 20'

- 4. BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN FLOOD ZONE "X", AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47149C0255J, WITH A REVISION DATE OF MAY 9, 2023, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT, COMMUNITY NO. 470168, PANEL NO. 0255, SUFFIX J, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "X" UNDER "OTHER AREAS" AS AREAS OF MINIMAL FLOOD HAZARD.
- 5. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT", THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN (3) THREE NOR MORE THAN (10) TEN WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL 811.
- 6. EASEMENTS IN THE SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN THEM UNTIL SOME FUTURE TIME AND THERE MAY BE NO NOTICE OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THIS CONSTRUCTION.
- 7. UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION AS AN ALTERNATIVE, THE HOMEOWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE BUILDER AND/OR HOMEOWNER SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THIS REQUIREMENT.
- 8. CONSOLIDATED UTILITY DISTRICT MAY REQUIRE AN AMENDMENT PLAT OR SURVEY METES AND BOUNDS DESCRIPTION WITH EXHIBIT TO DEDICATE ANY NECESSARY EASEMENTS WITH THE DEVELOPMENT ONCE CONSTRUCTION IS COMPLETE.
- 9. THIS SITE CONTAINS POST-CONSTRUCTION BEST MANAGEMENT PRACTICES UTILIZED IN TREATING STORMWATER RUNOFF IN ORDER TO COMPLY WITH MURFREESBORO CITY CODE. A STORMWATER MAINTENANCE AGREEMENT IS RECORDED WITH THIS PROPERTY AND OBLIGATES ALL SUBSEQUENT OWNERS TO ADHERE TO THE STORMWATER MAINTENANCE PLAN ON FILE WITH THE CITY OF MURFREESBORO.
- 10. THIS PROPERTY IS LOCATED WITHIN THE MEDICAL CENTER PARKWAY AND OVERALL CREEK SEWER ASSESSMENT DISTRICTS.
- 11. ALL EXISTING SANITARY SEWER SERVICES ARE TO BE TESTED, PASSED AND ACCEPTED BY THE CITY OF MURFREESBORO.
- 12. ALL AREAS NOT DESIGNATED HEREON AS EITHER A UNIT OR AS "LIMITED COMMON ELEMENTS" SHALL BE DESIGNATED AS "GENERAL COMMON ELEMENTS" FOR THE USE AND BENEFIT OF ALL OWNERS WITHIN THE HORIZONTAL PROPERTY REGIME.
- 13. BUILDING DESIGNS AND DIMENSIONS SHOWN HEREON ARE BASED ON FILES PROVIDED BY DAVID WEEKLEY HOMES AND SHOWN ON THE CONSTRUCTION PLANS PREPARED BY RAGAN SMITH ASSOCIATES, DATED FEBRUARY 10, 2022, LAST REVISED SEPTEMBER 13, 2023.
- 14. THE COMMON AREAS SHOWN ON THE SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE OWNERS ASSOCIATION TO MAINTAIN.
- 15. A MANDATORY OWNERS ASSOCIATION IS REQUIRED AS A CONDITION OF APPROVAL IN ORDER TO MEET OBLIGATIONS ESTABLISHED BY THE DEVELOPER.
- 16. CUD ACCESS TO THE DESIGNATED METER LOCATION AREA SHALL BE UNENCUMBERED BY DRIVEWAYS, SIDEWALKS, FENCING OR LANDSCAPING. A PERMANENT ACCESS EASEMENT EXISTS AT THE METER VAULT LOCATION. THIS EASEMENT IS INTENDED TO ASSURE SERVICE AND REPAIR ACCESS TO THE METERS AND SERVICE LINES. CUD WILL NOT BE LIABLE TO REPAIR OR REPLACE ANY REMOVED OR DAMAGED ENCROACHMENTS WITHIN THE EASEMENT AND WILL NOT BE FINANCIALLY LIABLE FOR DAMAGES TO ANY ENCROACHMENTS. SEE CUD CLEAR SPACE DETAIL.
- 17. ROADWAYS WITHIN DEVELOPMENT ARE PRIVATE. CUD SHALL HAVE 24-HOUR UNRESTRICTED INGRESS AND EGRESS ACCESS TO ALL WATER FACILITIES THROUGH THE DESIGNATED PRIVATE RIGHT OF WAYS AND PUBLIC UTILITY EASEMENTS LOCATED HEREIN. ALL CUD EASEMENTS ARE TO REMAIN FREE FROM OBSTRUCTIONS. ANY ENCROACHMENTS WITHIN A CUD EASEMENT INCLUDING, BUT NOT LIMITED TO, STRUCTURES, LANDSCAPING, FENCING OR ANY OTHER OBSTRUCTION REQUIRES PRE-APPROVAL FROM CUD WITH THE APPROPRIATE CUD ENCROACHMENT AGREEMENT EXECUTED PRIOR TO INSTALLATION OF SAID ENCROACHMENT.
- 18. DUE TO THE LIMITED AMOUNT OF GREEN SPACE FOR THIS PROJECT, THERE IS A SMALL MARGIN FOR ERROR FOR UTILITIES INSTALLATION. IN ADDITION TO ALL OTHER CUD INSPECTOR CHECKLIST REQUIREMENTS, CUD WILL ALSO REQUIRE THAT ALL UTILITIES AND PAVEMENT BE INSTALLED PRIOR TO THE RELEASE OF WATER TAPS BEING SOLD. IF AT ANY TIME THERE ARE CONFLICTS THAT ARISE CONCERNING CUD CLEAR SPACE AND EASEMENT REQUIREMENTS WITH REGARD TO BUILDINGS, DRIVEWAYS, TREES, SIGNS, LANDSCAPING, SIDEWALKS, STREET LIGHTS, FENCING, UTILITY SEPARATION, AND TDEC SEPARATION REQUIREMENTS, CUD RESERVES THE RIGHT TO REFUSE AND/OR DISCONNECT WATER SERVICE(S) UNTIL ALL ISSUES ARE RESOLVED ACCORDING TO CUD.
- 19. ACCESS EASEMENTS DEPICTED ON THIS PLAT ARE FOR THE BENEFIT OF ALL UNITS IN THIS DEVELOPEMENT AS WELL AS THE HOMEOWNERS' ASSOCIATION.
- 20. THE STREETS IDENTIFIED ON THE PLAT MAY BE CONSTRUCTED OR RECONSTRUCTED IN THE FUTURE WITHOUT CONSULTATION OR NOTICE TO THE OWNERS OF THE LOTS IN THE SUBDIVISION.

PROPERTY MAP REFERENCE

BEING A PORTION OF PARCEL NUMBER 094.00 AS SHOWN ON RUTHERFORD COUNTY PROPERTY MAP NUMBER 079.

PLAT REFERENCE

BEING A PORTION OF LOT 19 AS SHOWN ON THE FINAL PLAT ENTITLED "CLARI PARK SUBDIVISION, LOT 19" OF RECORD IN PLAT CABINET 51, PAGE 250, REGISTER'S OFFICE FOR RUTHERFORD COUNTY, TENNESSEE.

DEED REFERENCE

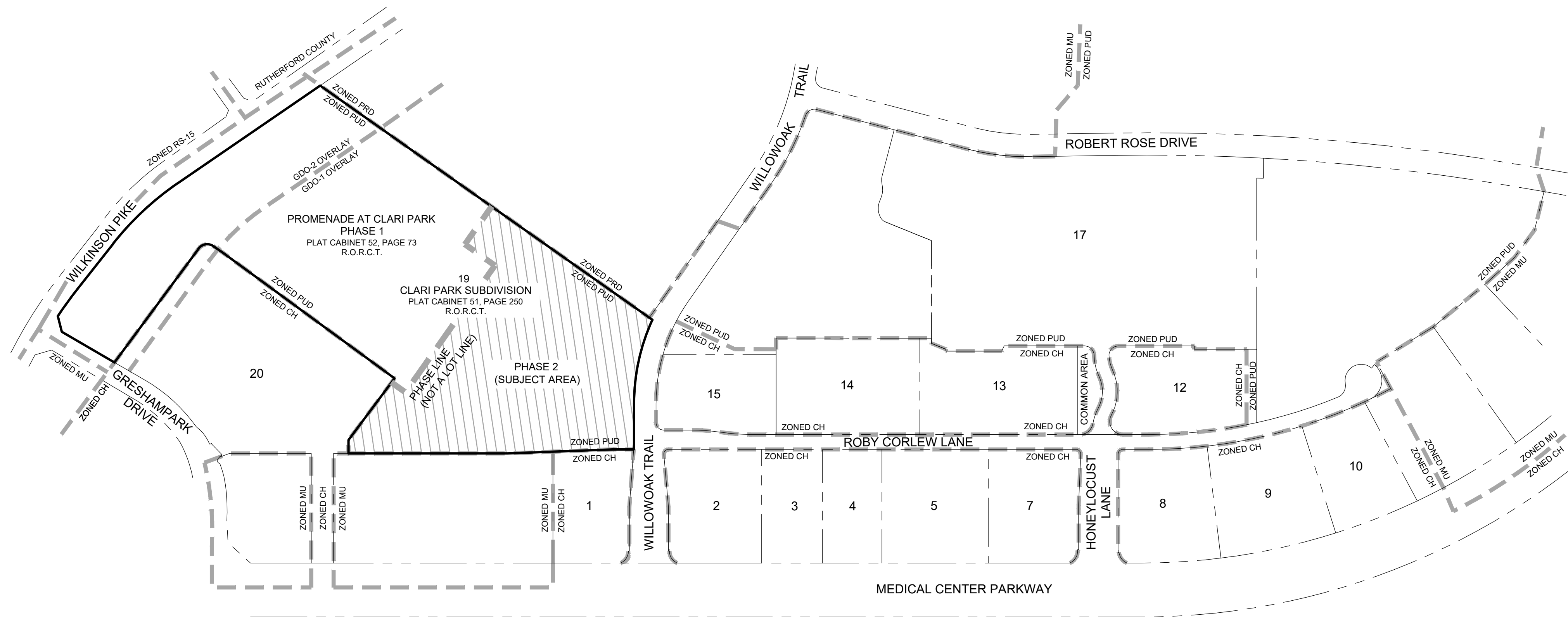
BEING A PORTION OF THE SAME PROPERTY CONVEYED TO RLS (CLARI) LLC FROM CND-CLARI, LLC BY SPECIAL WARRANTY DEED OF RECORD IN RECORD BOOK 2451, PAGE 3340, REGISTER'S OFFICE FOR RUTHERFORD COUNTY, TENNESSEE.



Know what's below. Call before you dig.

SITE DATA TABLE

HPR PHASE 2 AREA: 305,659 SQUARE FEET OR 7.02 ACRES± OVERALL LOT 19 AREA: 769,229 SQUARE FEET OR 17.66 ACRES±

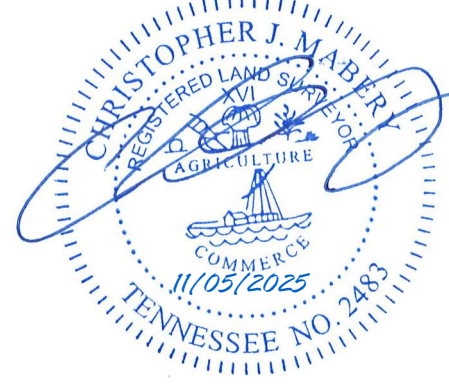


CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS GREATER THAN 1:10000 AS SHOWN HEREON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON TO THE SPECIFICATIONS OF THE CITY ENGINEER.

RAGAN-SMITH-ASSOCIATES, INC.

CHRISTOPHER J. MABERY, DATE 11/05/2025, TN RLS NO. 2483



CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT AND ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND DEDICATE ALL STREETS ALLEYS, WALKS, AND UTILITIES THEREIN, PARKS AND OTHER OPEN SPACES TO PUBLIC AND PRIVATE USE AS NOTED.

RECORD BOOK 2451, PAGE 3340, R.O.R.C.T. RLS (CLARI) LLC, A DELAWARE LIMITED LIABILITY COMPANY BY: BROOKFIELD RESIDENTIAL

CERTIFICATE OF COMPLIANCE WITH THE HORIZONTAL PROPERTY ACT

I HEREBY CERTIFY THAT THIS PLAT HAS BEEN PREPARED IN CONFORMANCE WITH THE HORIZONTAL PROPERTY ACT, TCA 66-27-101 ET. SEQ.

ALVIN L. HARRIS, ATTORNEY, LAW OFFICE OF ALVIN L. HARRIS

CERTIFICATE OF APPROVAL - REPURIFIED WATER SYSTEM

I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

MURFREESBORO WATER RESOURCES OFFICIAL, DATE

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME, OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

MURFREESBORO WATER RESOURCES OFFICIAL, DATE

CERTIFICATE OF APPROVAL OF WATER SYSTEMS

I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES OR THE SPECIFICATIONS OF THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY IF THEY ARE MORE STRINGENT, AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY TO ASSURE COMPLETION OF SAME.

CONSOLIDATED UTILITY DISTRICT OFFICIAL, DATE

CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE

I HEREBY CERTIFY THAT (1) THE STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND STORMWATER QUALITY CONTROLS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

CITY ENGINEER, DATE

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER IN THE ELECTRIC SERVICE JURISDICTION OF MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTEMC) WILL PROVIDE ELECTRIC SERVICE TO THE SUBJECT PROPERTY ACCORDING TO THE NORMAL OPERATING PRACTICES OF MTEMC AS DEFINED IN THE RULES AND REGULATIONS, BYLAWS, POLICY BULLETINS AND OPERATIONAL BULLETINS OF MTEMC, AND IN ACCORDANCE WITH THE PLAT APPROVAL CHECKLIST, TREE PLANTING GUIDELINES AND OTHER REGULATIONS CONTAINED ON THE MTEMC WEBSITE AT WWW.MTE.COM (COLLECTIVELY THE "REQUIREMENTS"). NO ELECTRIC SERVICE WILL BE PROVIDED UNTIL MTEMC'S REQUIREMENTS HAVE BEEN MET AND APPROVED IN WRITING BY AN AUTHORIZED REPRESENTATIVE OF MTEMC. ANY APPROVAL IS, AT ALL TIMES, CONTINGENT UPON CONTINUING COMPLIANCE WITH MTEMC'S REQUIREMENTS.

MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION, DATE

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE.

PLANNING COMMISSION SECRETARY, DATE

CITY OF MURFREESBORO, RUTHERFORD COUNTY, TENNESSEE EASEMENT PLAT AND HORIZONTAL PROPERTY REGIME PLAT PROMENADE AT CLARI PARK PHASE 2

13th CIVIL DISTRICT OF RUTHERFORD COUNTY, CITY OF MURFREESBORO, TENNESSEE. DRAWN BY: BKB, SCALE: 1" = 200'. JOB NUMBER: 07137-1941. DATE: OCTOBER 16, 2025. REVISED: NOVEMBER 5, 2025.



RaganSmith a Pape-Dawson company

OWNER: RLS (CLARI) LLC, MATTHEW CALDWELL, 14648 N SCOTTSDALE RD., SUITE 290, SCOTTSDALE, AZ 85254, (602) 903-7512

DEVELOPER: ASHTON NASHVILLE RESIDENTIAL, LLC, CHET BACHULA, 370 MALLORY STATION ROAD, SUITE 500, FRANKLIN, TN 37067, (773) 619-9171

SURVEYOR: RAGAN-SMITH ASSOCIATES, INC., CHRIS MABERY, RLS #2483, 1500 MEDICAL CENTER PKWY., SUITE 2J, MURFREESBORO, TENNESSEE 37129, (615)-946-6050

WATER SERVICE: CONSOLIDATED UTILITY DISTRICT, 709 NEW SALEM HIGHWAY, MURFREESBORO, TENNESSEE 37129, (615)-893-7225

RECORDING INFORMATION: DATE OF RECORDING: TIME OF RECORDING: PLAT BOOK/RECORD BOOK: PAGE:

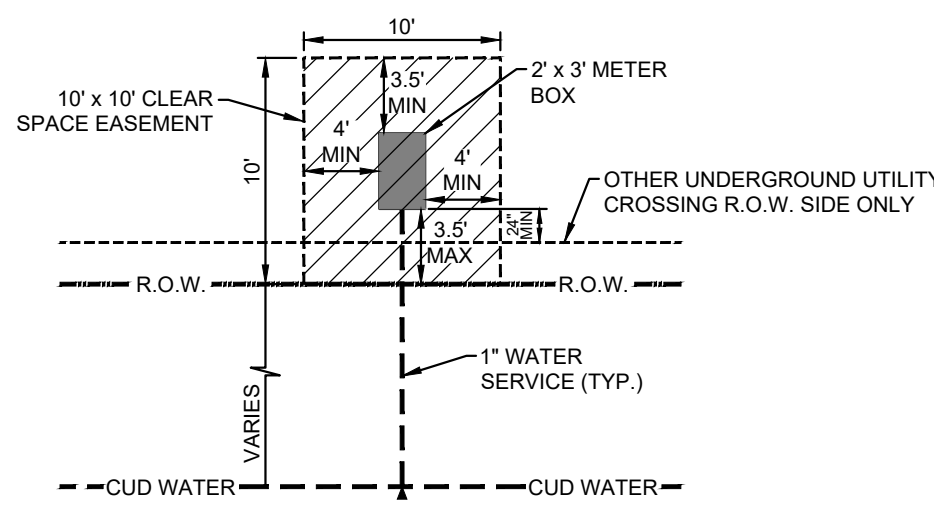
© 07/13/2015 10:50:57 AM SURVEY PLAT PHASE 2 WITH GARDEN PH 2 HPR PLAT DWG

NOTES

- SEE SHEET 1 FOR ALL GENERAL NOTES AND PROPERTY REFERENCES.
- SEE SHEET 3 FOR BUILDING DETAILS, INCLUDING PRIVATE ELEMENT AND LIMITED COMMON ELEMENT LABELING.



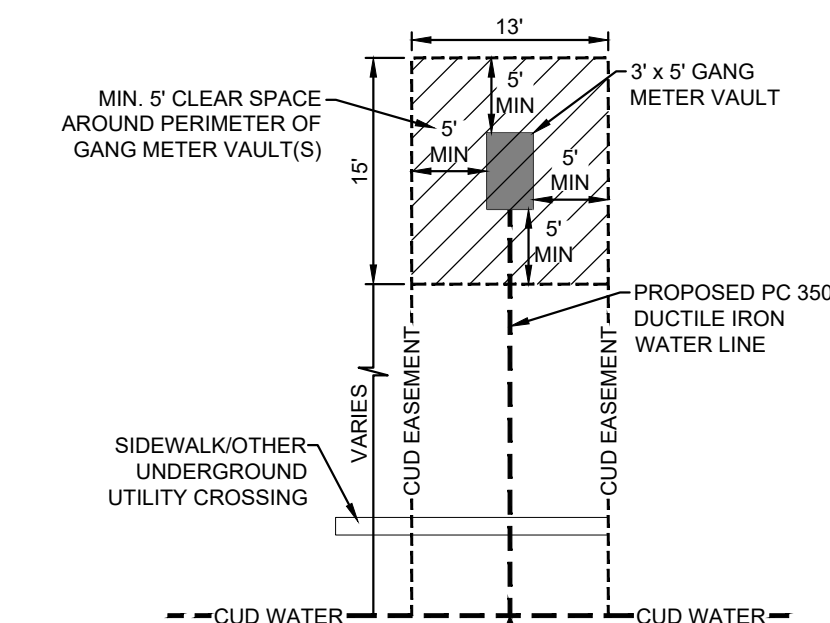
Know what's below.
Call before you dig.



SINGLE FAMILY RESIDENTIAL METER CLEAR SPACE REQUIREMENT
(NOT TO SCALE)

NOTES

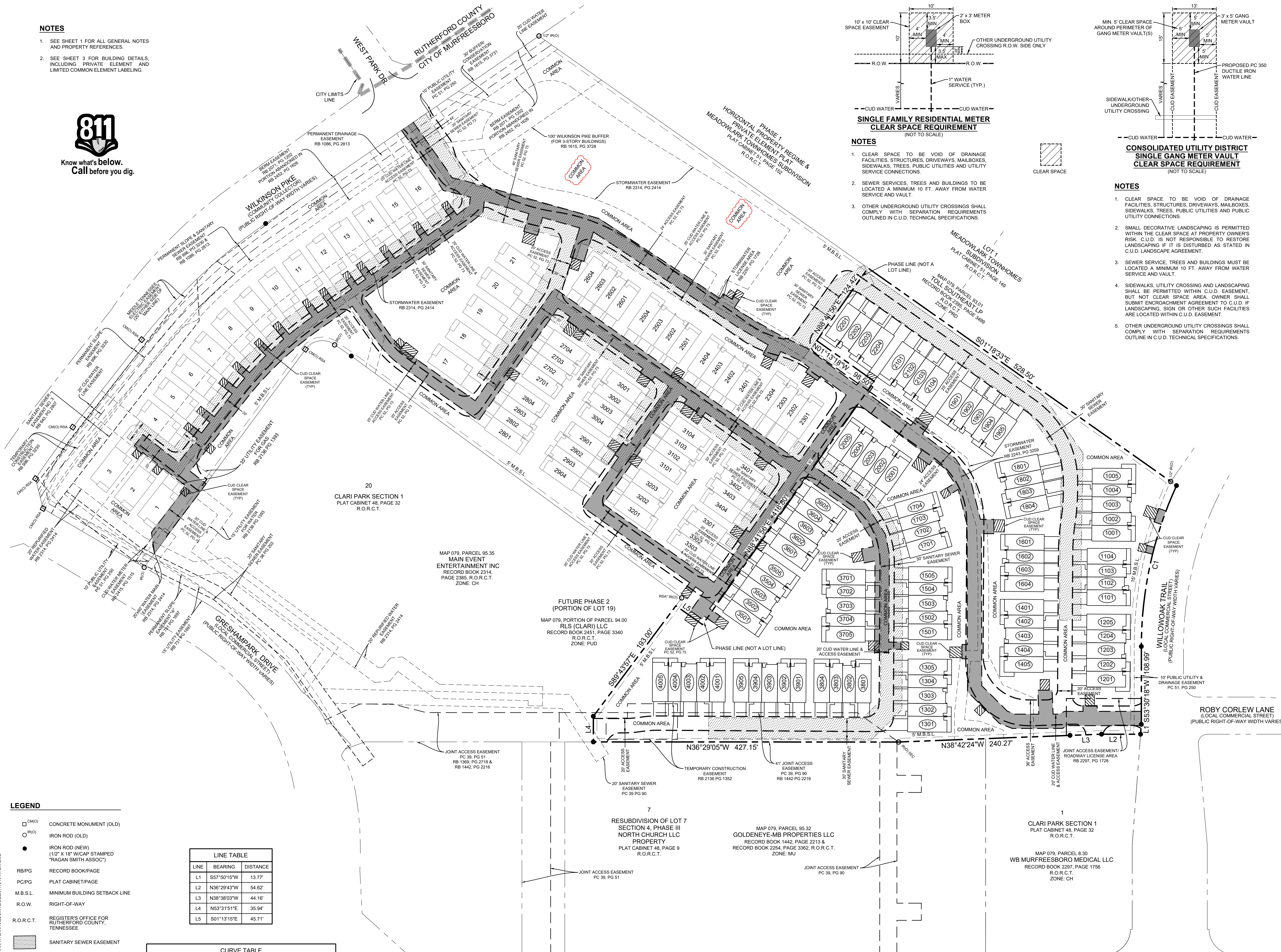
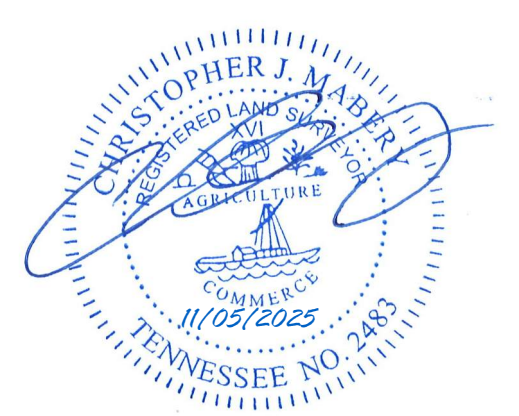
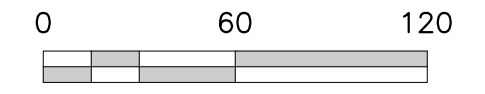
- CLEAR SPACE TO BE VOID OF DRAINAGE FACILITIES, STRUCTURES, DRIVEWAYS, MAILBOXES, SIDEWALKS, TREES, PUBLIC UTILITIES AND UTILITY SERVICE CONNECTIONS.
- SEWER SERVICES, TREES AND BUILDINGS TO BE LOCATED A MINIMUM 10 FT. AWAY FROM WATER SERVICE AND VAULT.
- OTHER UNDERGROUND UTILITY CROSSINGS SHALL COMPLY WITH SEPARATION REQUIREMENTS OUTLINED IN C.U.D. TECHNICAL SPECIFICATIONS.



CONSOLIDATED UTILITY DISTRICT SINGLE GANG METER VAULT CLEAR SPACE REQUIREMENT
(NOT TO SCALE)

NOTES

- CLEAR SPACE TO BE VOID OF DRAINAGE FACILITIES, STRUCTURES, DRIVEWAYS, MAILBOXES, SIDEWALKS, TREES, PUBLIC UTILITIES AND PUBLIC UTILITY CONNECTIONS.
- SMALL DECORATIVE LANDSCAPING IS PERMITTED WITHIN THE CLEAR SPACE AT PROPERTY OWNERS RISK. C.U.D. IS NOT RESPONSIBLE TO RESTORE LANDSCAPING IF IT IS DISTURBED AS STATED IN C.U.D. LANDSCAPE AGREEMENT.
- SEWER SERVICE, TREES AND BUILDINGS MUST BE LOCATED A MINIMUM 10 FT. AWAY FROM WATER SERVICE AND VAULT.
- SIDEWALKS, UTILITY CROSSING AND LANDSCAPING SHALL BE PERMITTED WITHIN C.U.D. EASEMENT, BUT NOT CLEAR SPACE AREA. OWNER SHALL SUBMIT ENCROACHMENT AGREEMENT TO C.U.D. IF LANDSCAPING, SIGN OR OTHER SUCH FACILITIES ARE LOCATED WITHIN C.U.D. EASEMENT.
- OTHER UNDERGROUND UTILITY CROSSINGS SHALL COMPLY WITH SEPARATION REQUIREMENTS OUTLINE IN C.U.D. TECHNICAL SPECIFICATIONS.



LEGEND

- (C.M.O.) CONCRETE MONUMENT (OLD)
- (R.O.) IRON ROD (OLD)
- IRON ROD (NEW) (1/2" X 18" W/ CAP STAMPED "TRAGAN SMITH ASSOC")
- RB/PG RECORD BOOK/PAGE
- PC/PG PLAT CABINET/PAGE
- M.B.S.L. MINIMUM BUILDING SETBACK LINE
- R.O.W. RIGHT-OF-WAY
- R.O.R.C.T. REGISTER'S OFFICE FOR RUTHERFORD COUNTY, TENNESSEE
- SANITARY SEWER EASEMENT
- CUD WATER LINE AND ACCESS EASEMENT
- CUD CLEAR SPACE EASEMENT

LINE TABLE

LINE	BEARING	DISTANCE
L1	S57°50'15"W	13.77'
L2	N36°29'43"W	54.62'
L3	N38°38'03"W	44.16'
L4	N53°31'51"E	35.94'
L5	S01°13'15"E	45.71'

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHORD BRG
C1	539.50'	232.35'	24°40'33"	118.00'	230.56'	S65°50'35"W

CITY OF MURFREESBORO, RUTHERFORD COUNTY, TENNESSEE

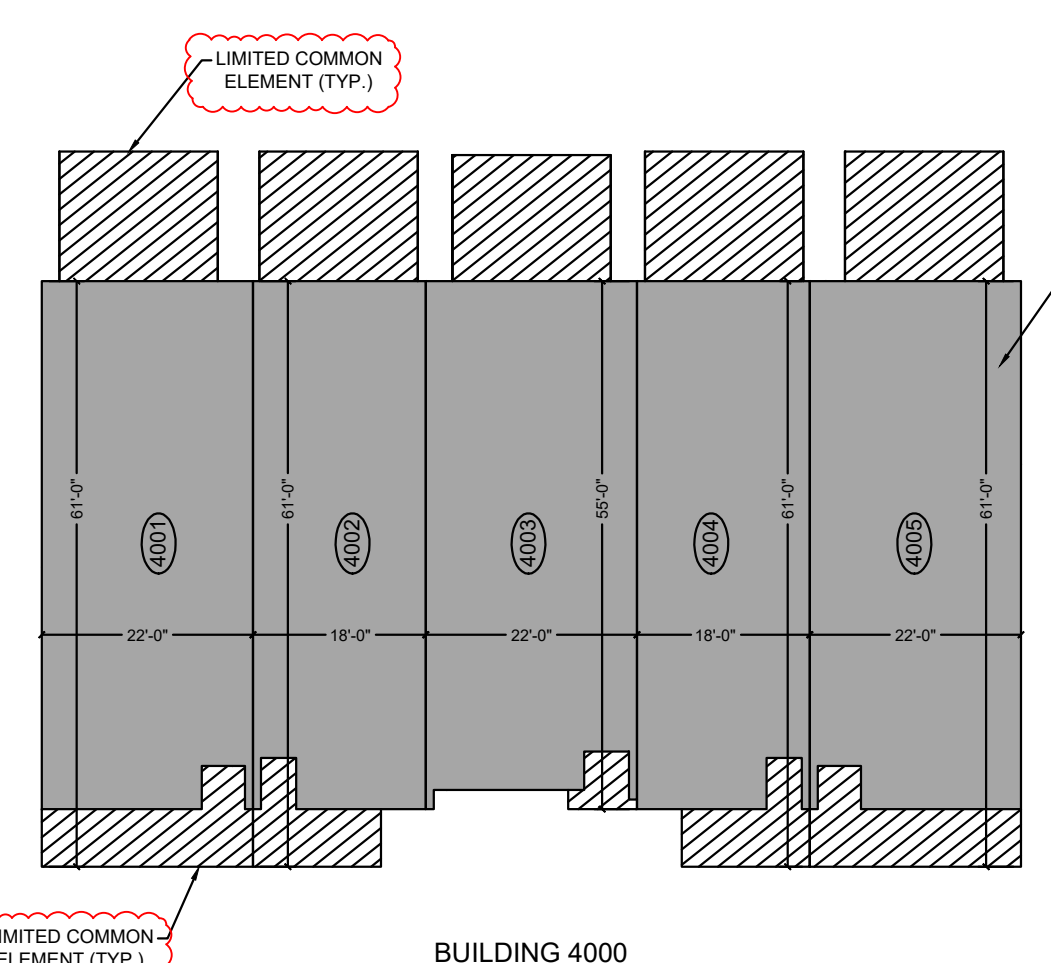
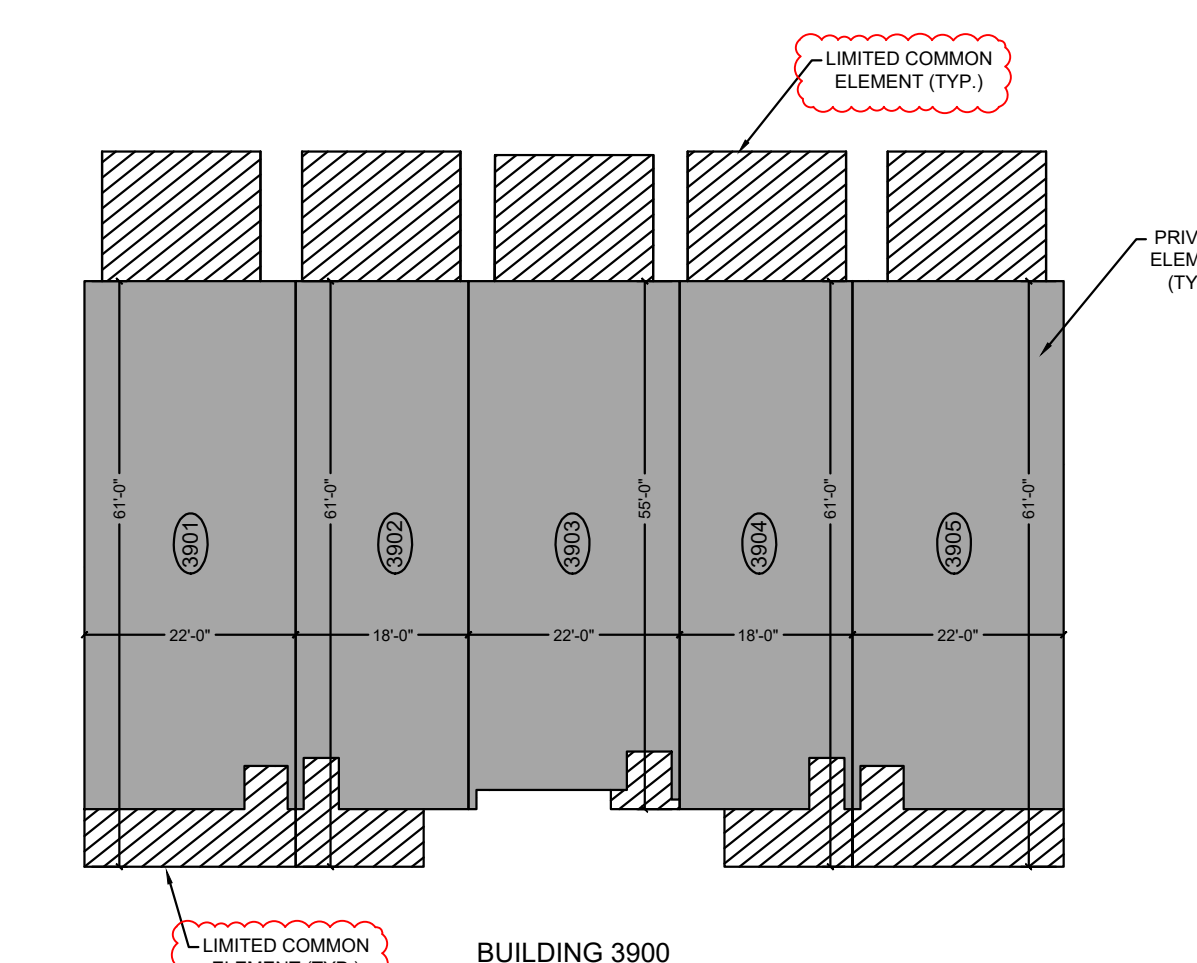
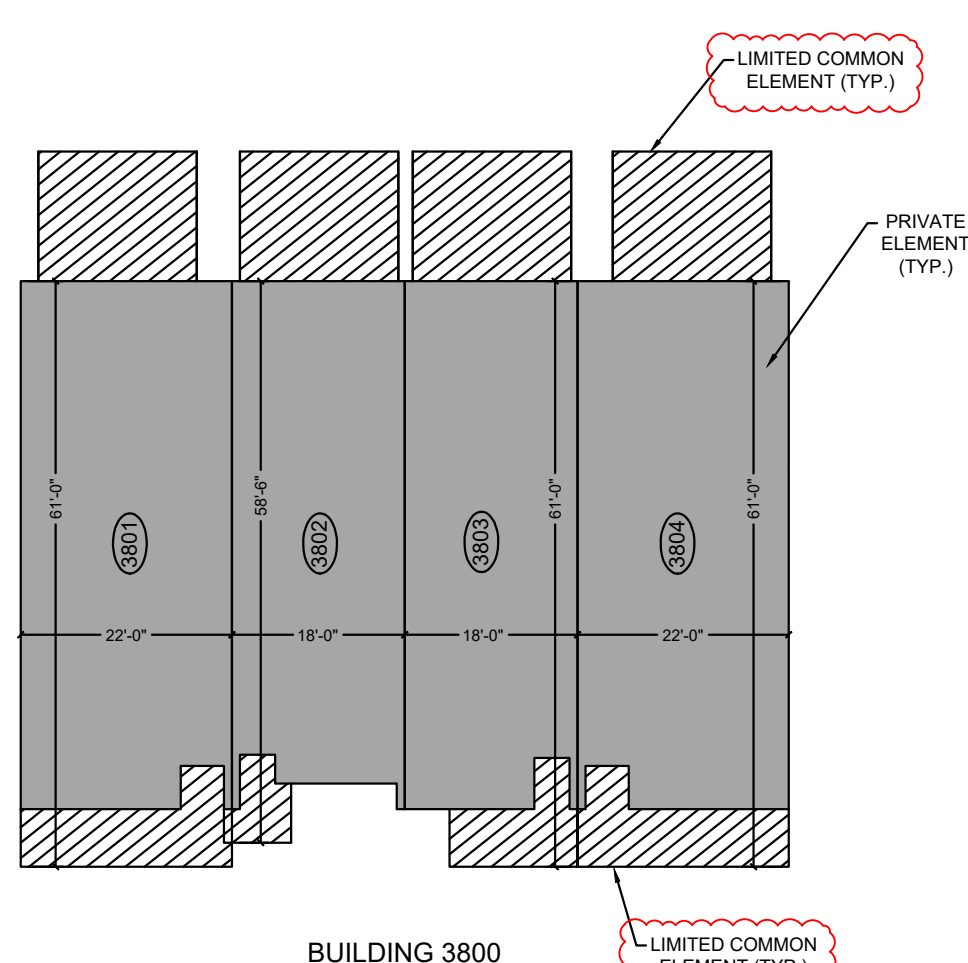
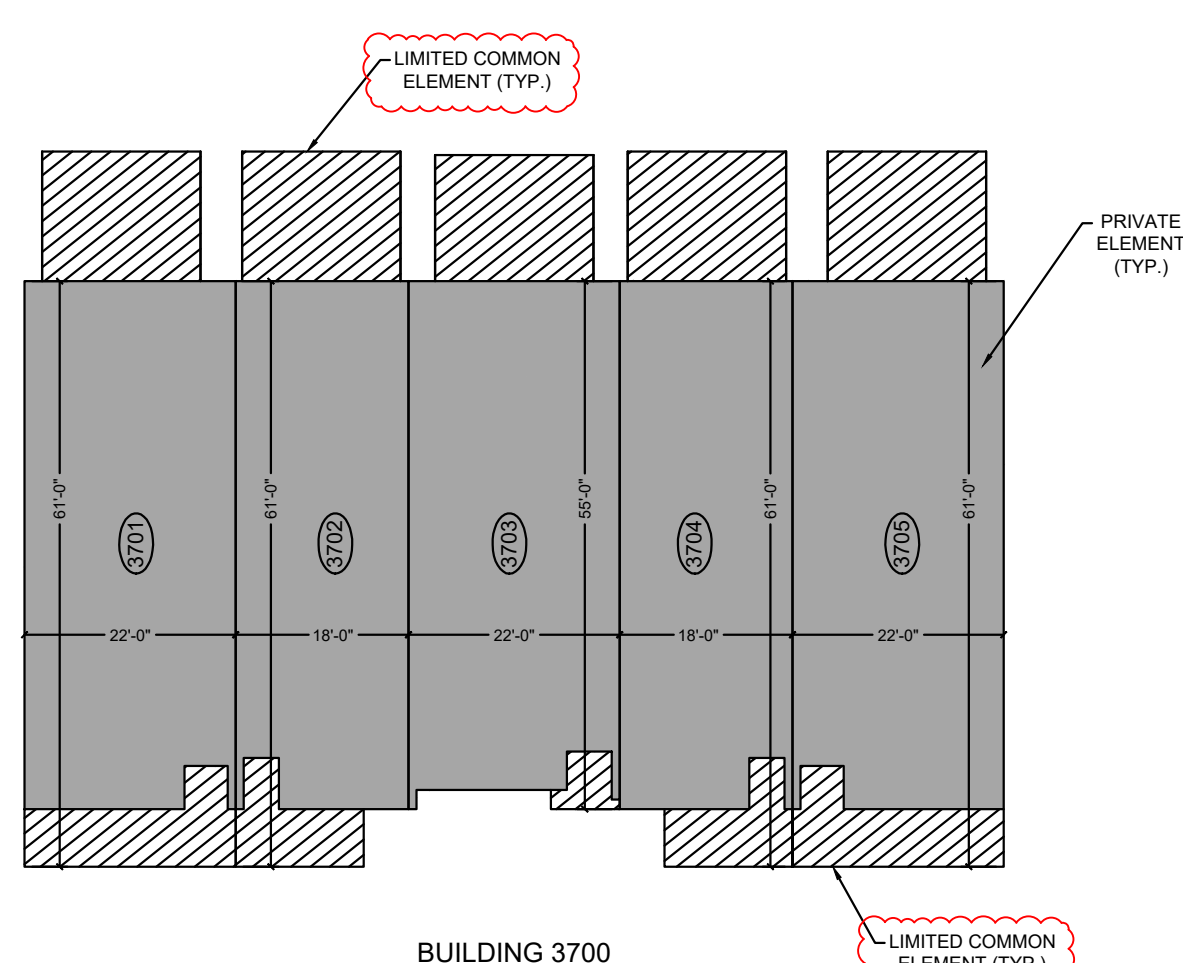
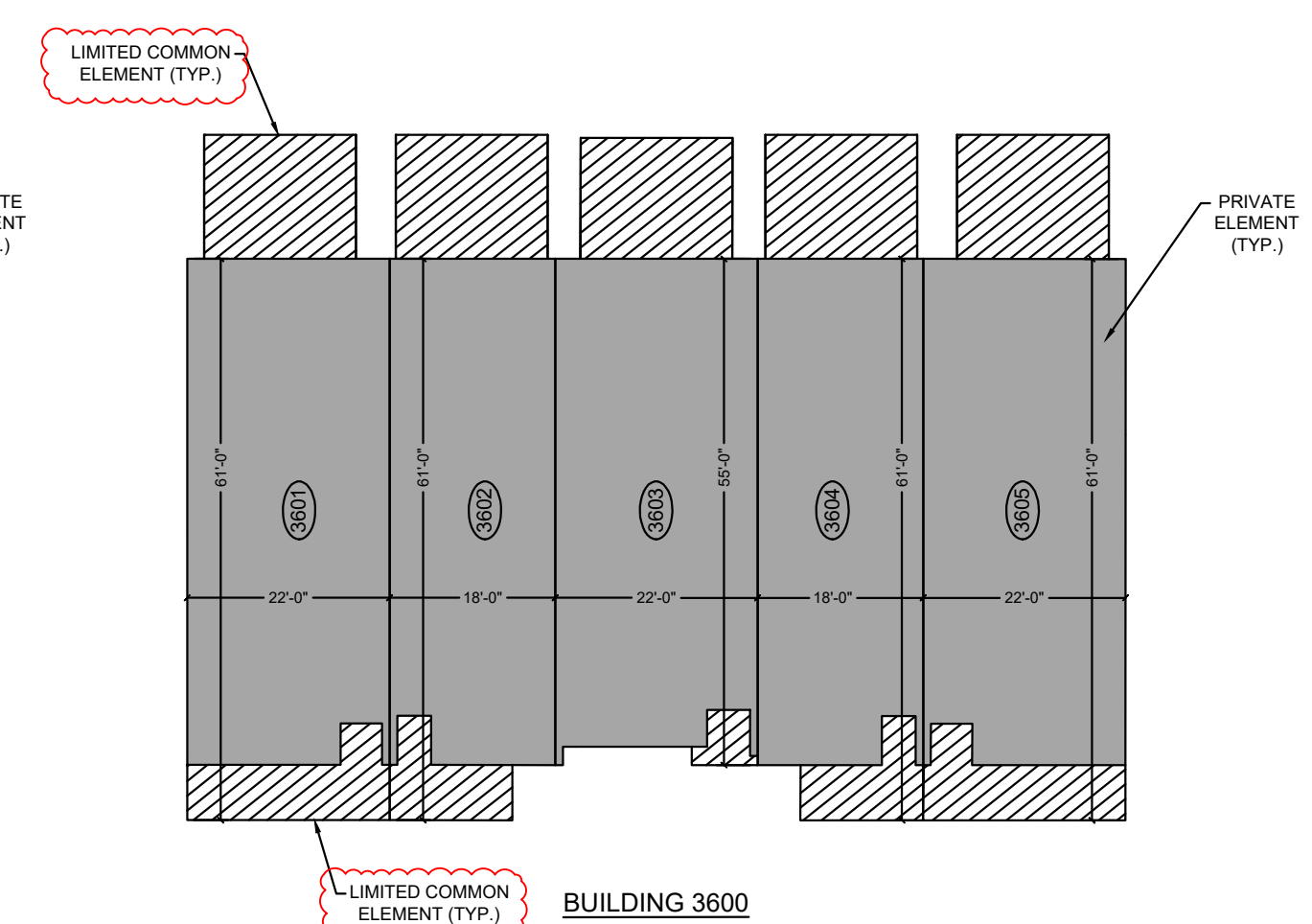
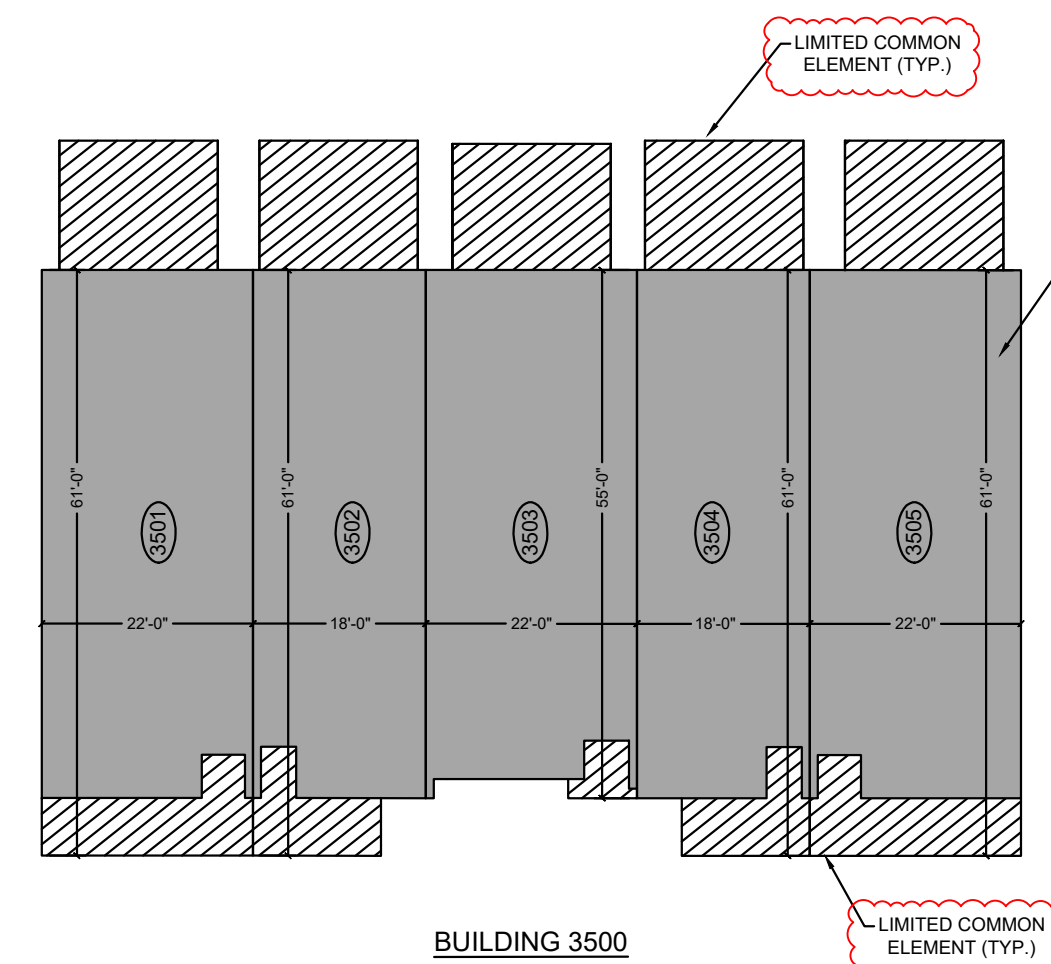
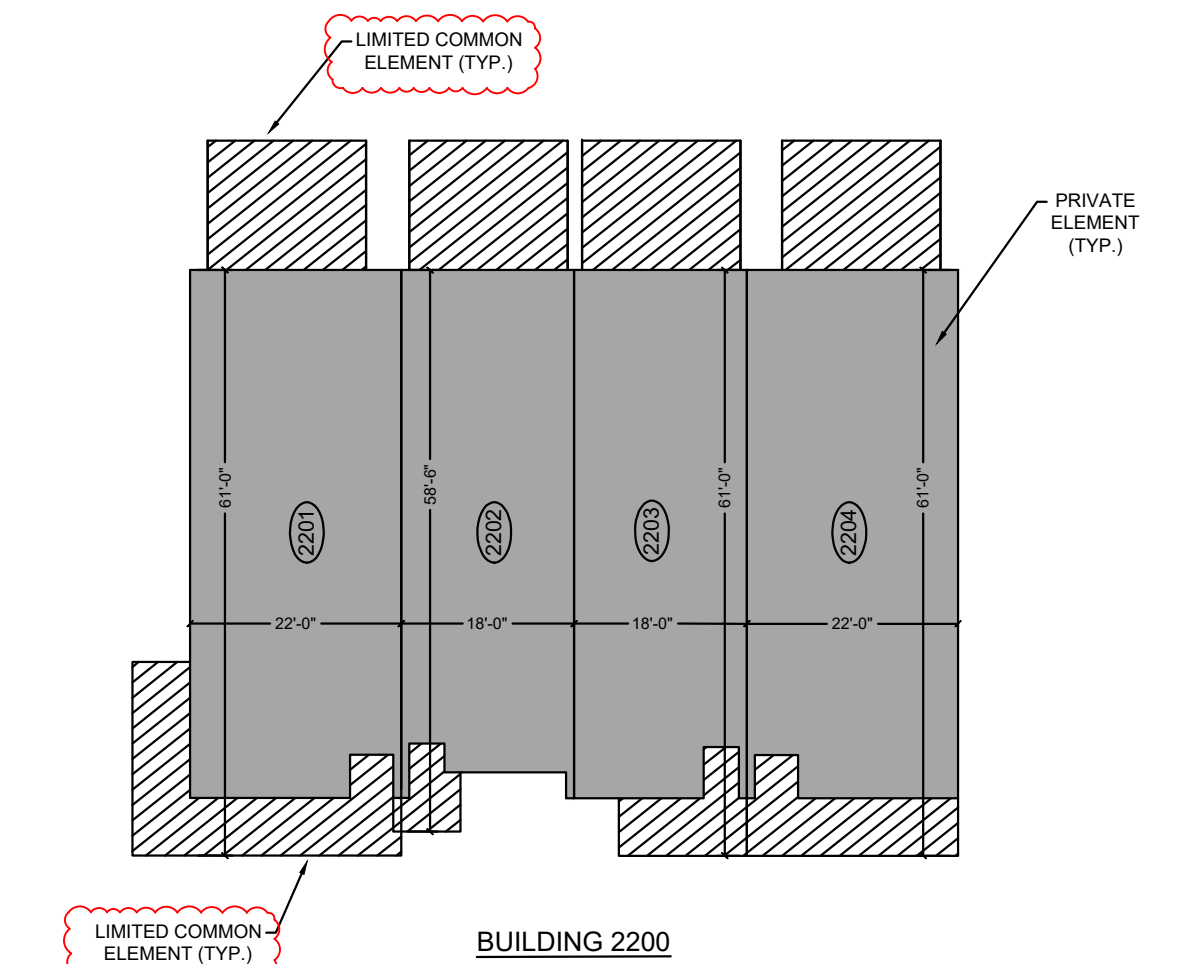
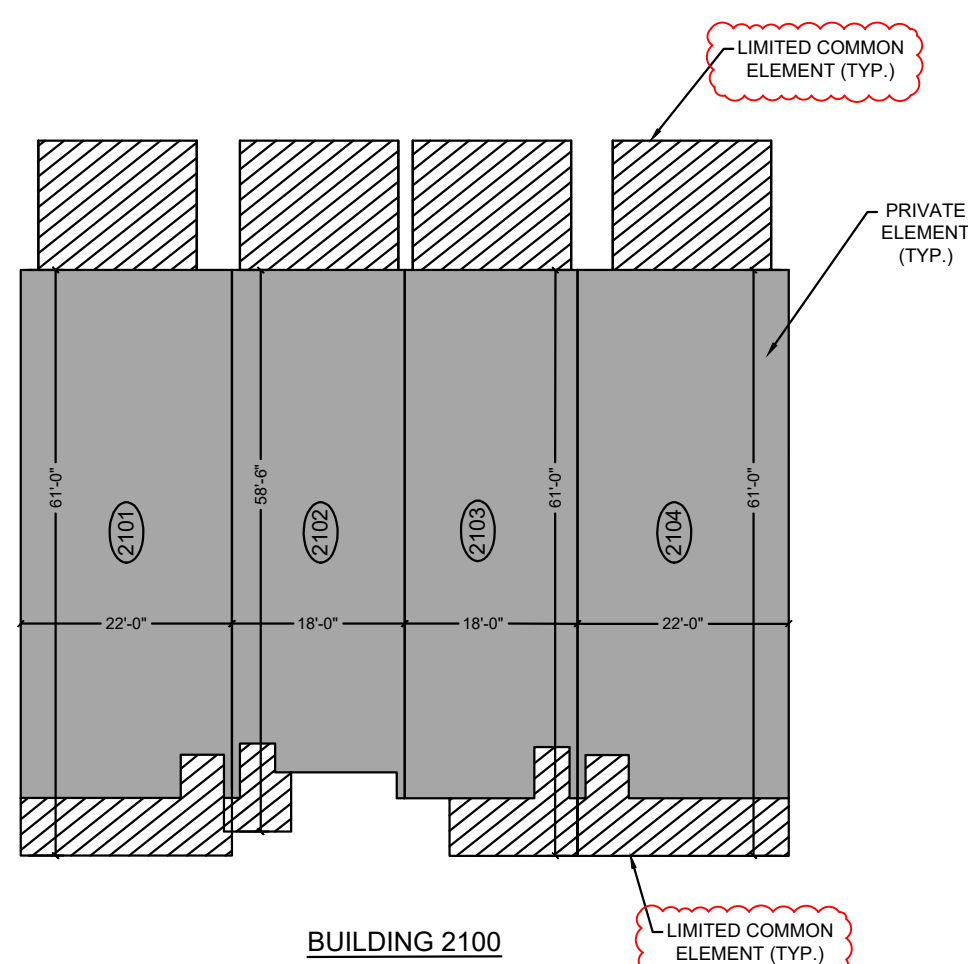
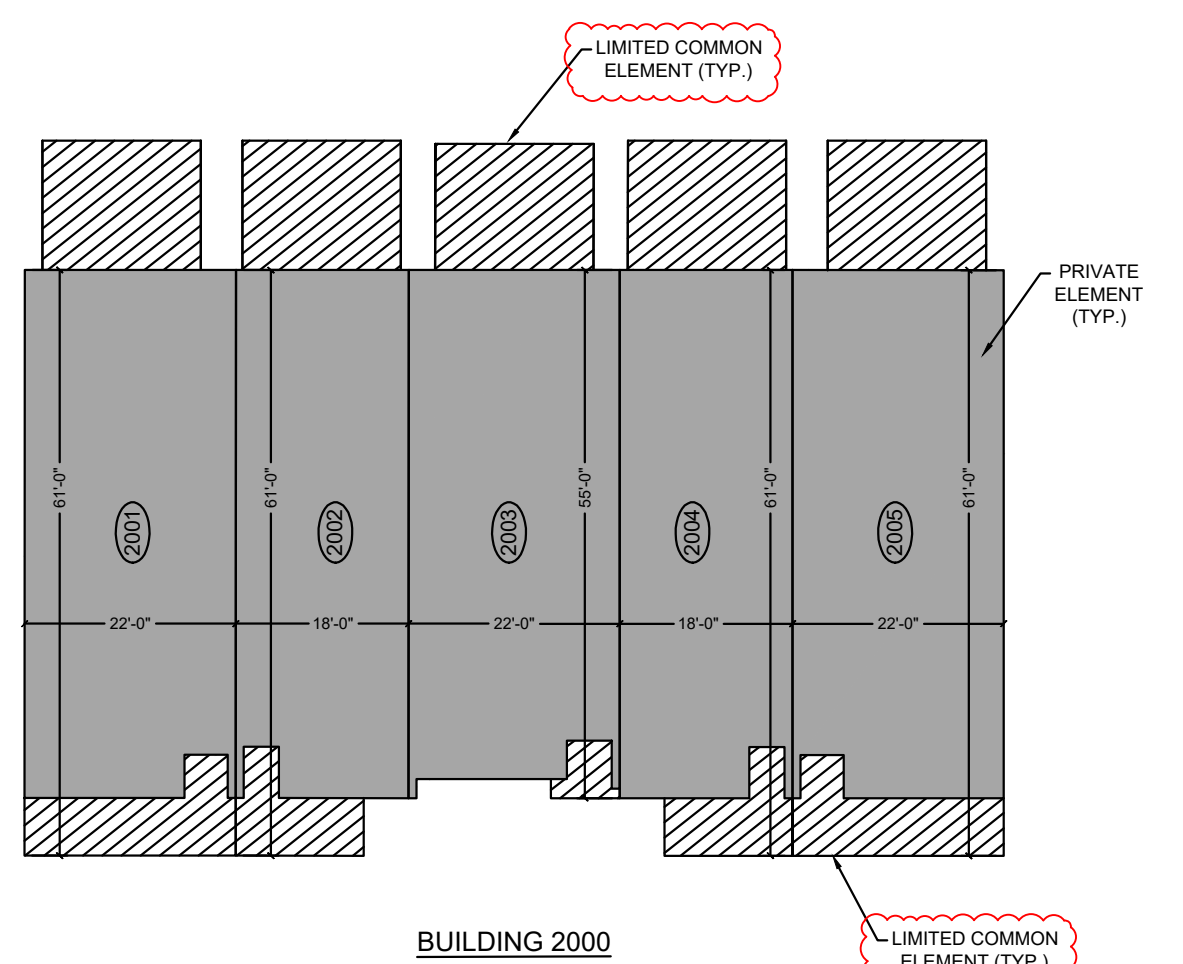
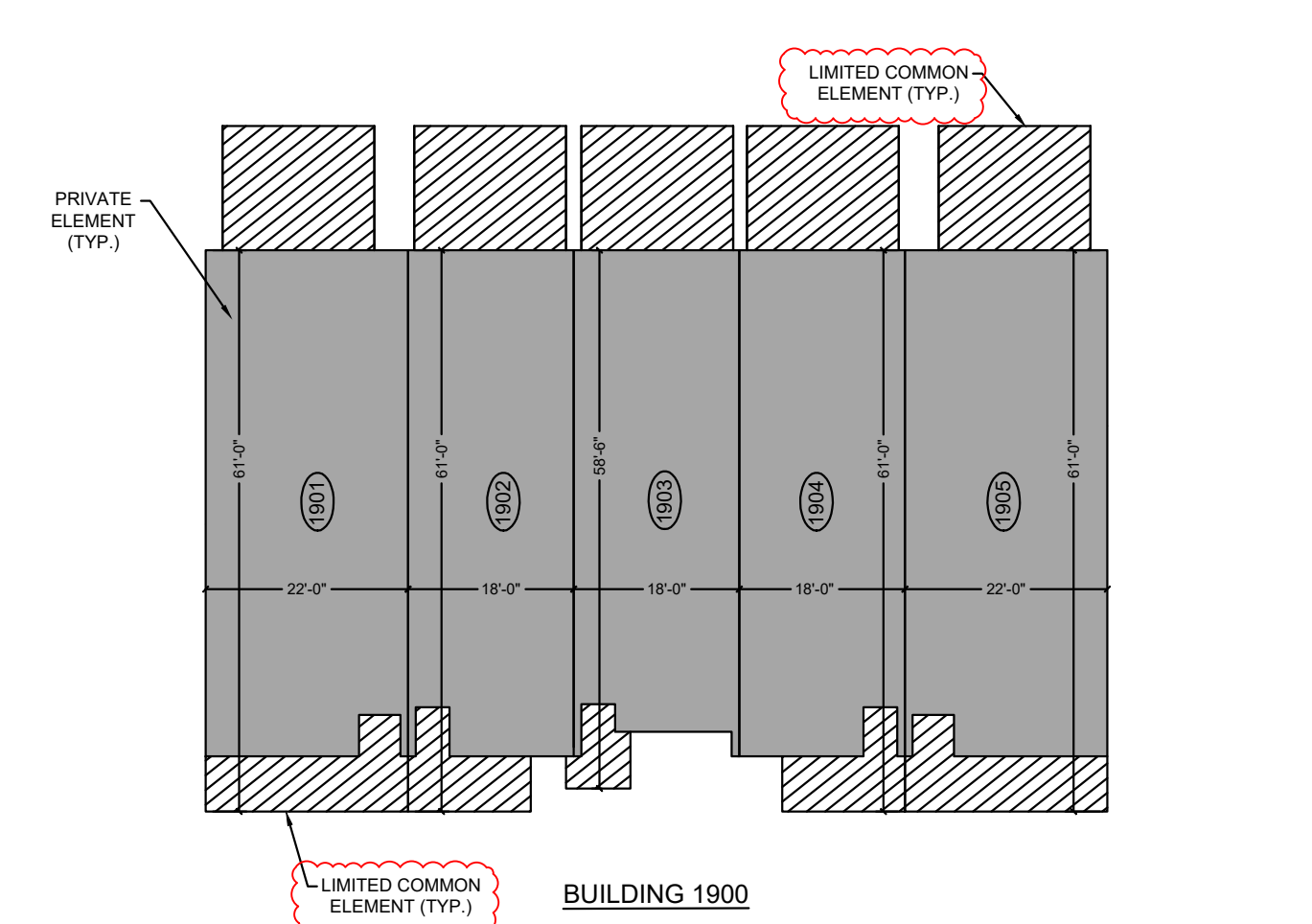
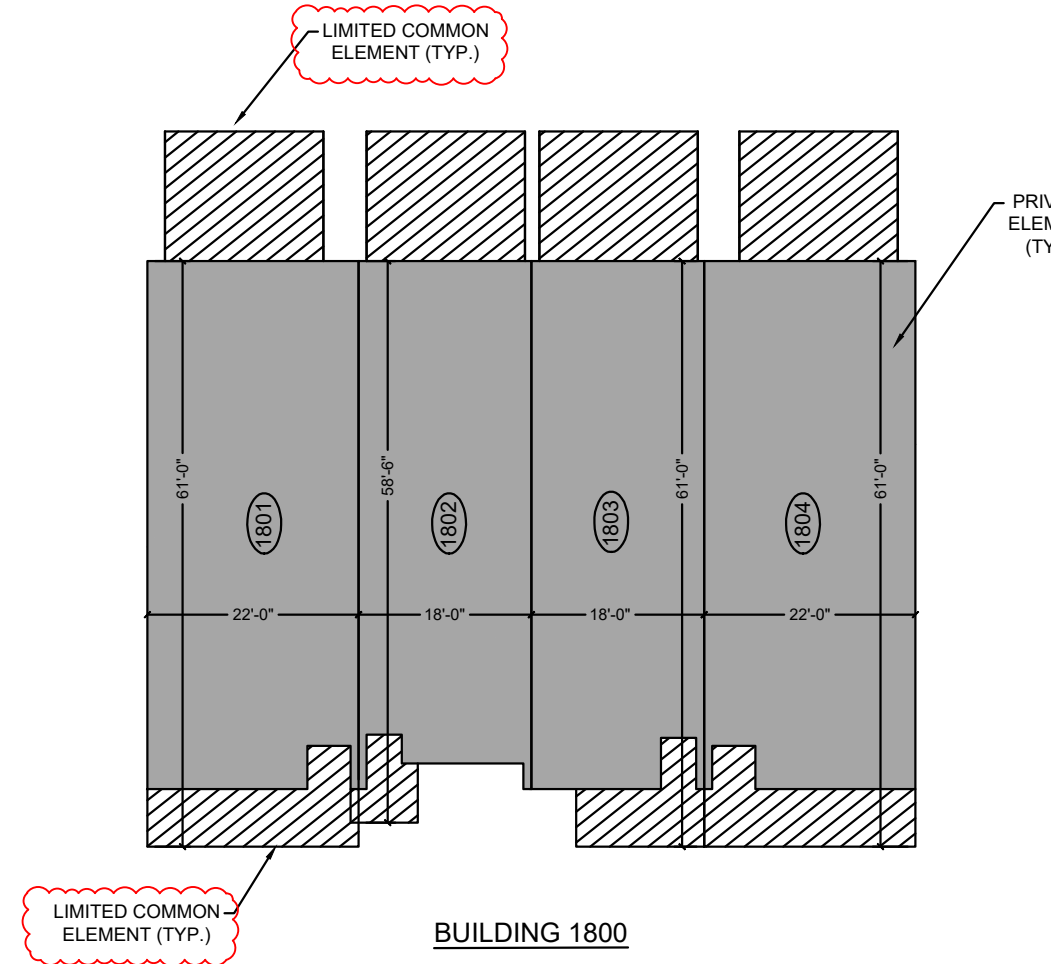
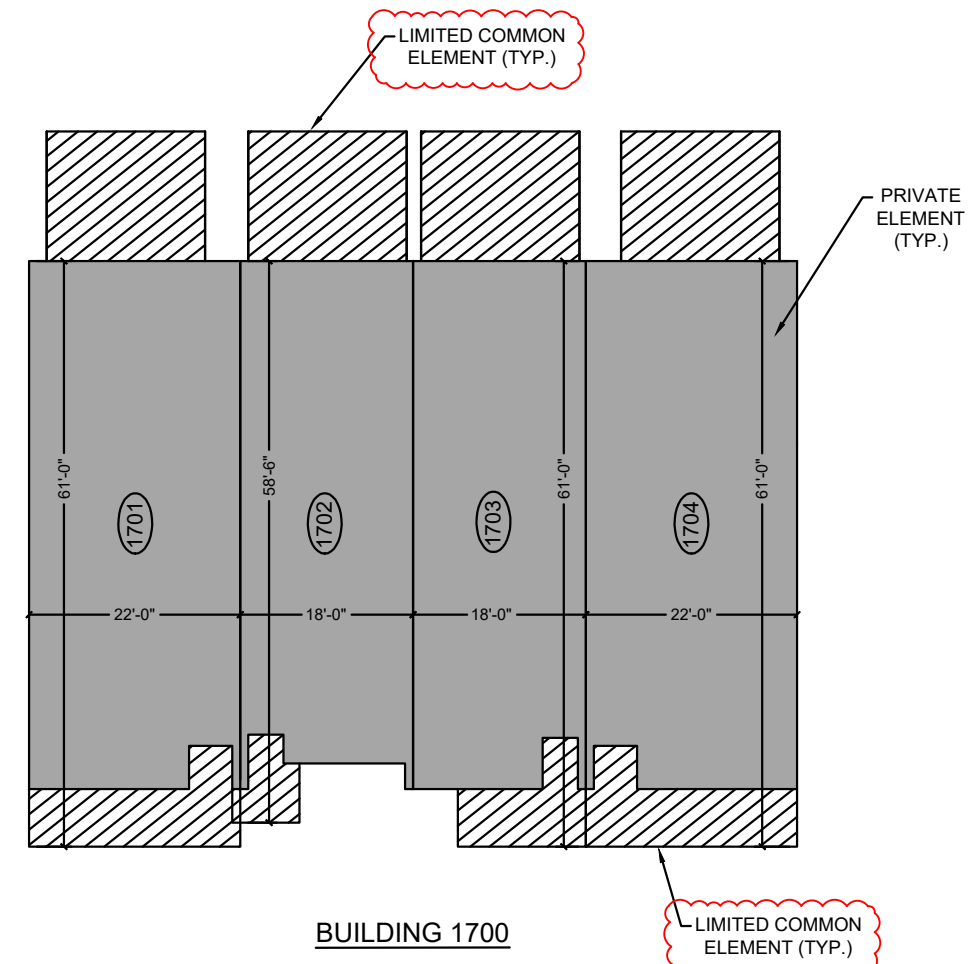
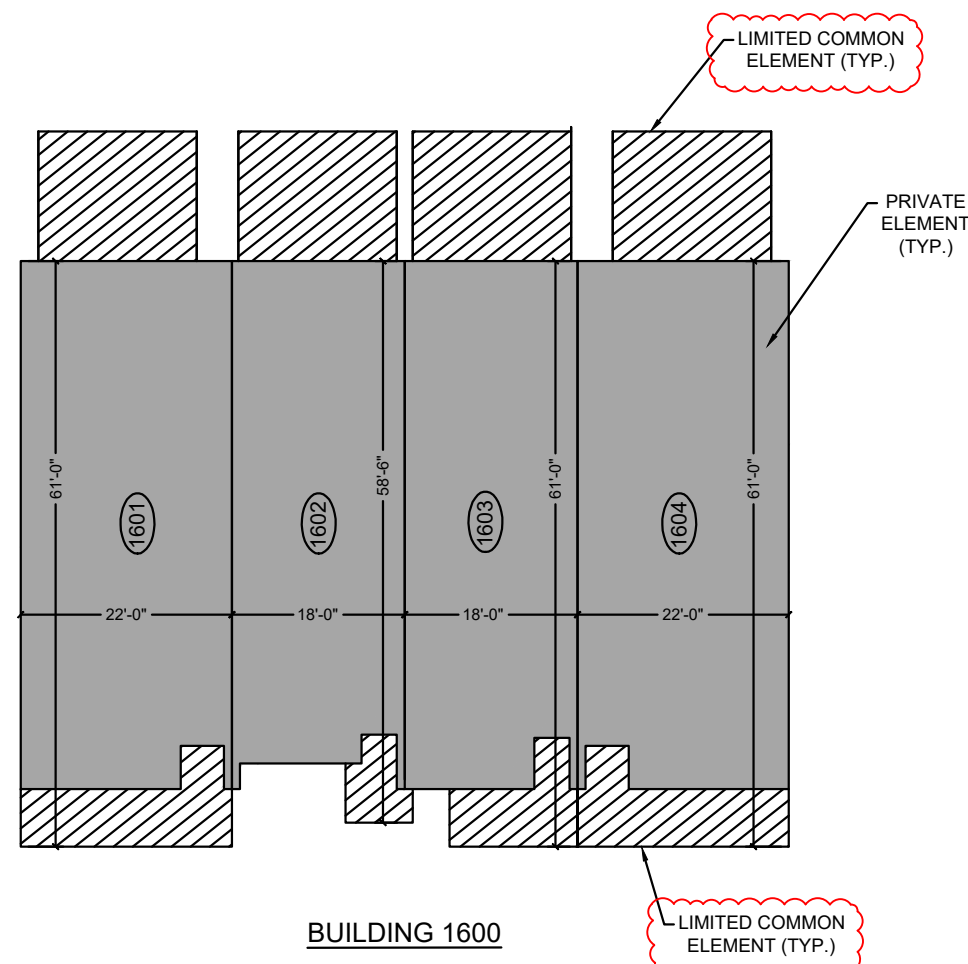
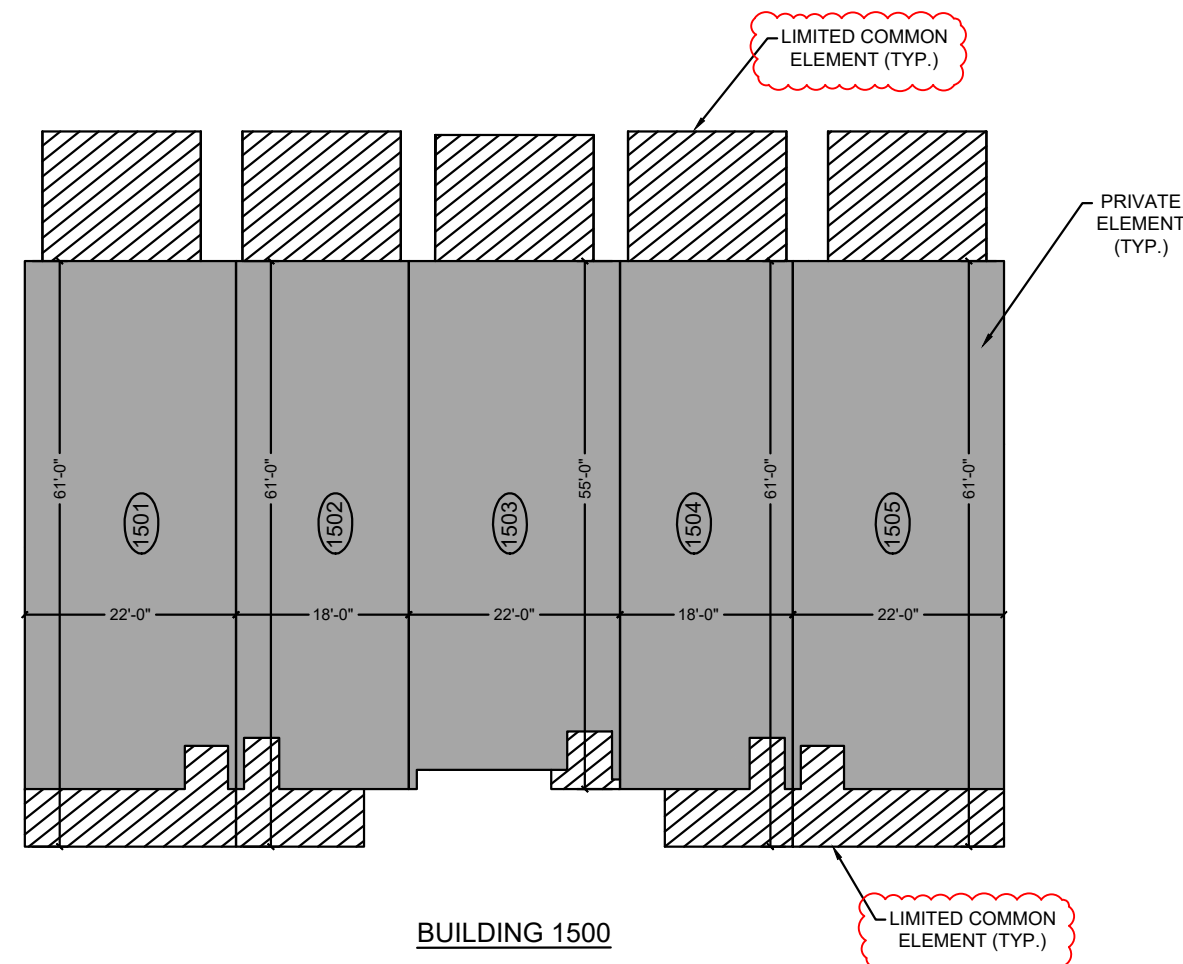
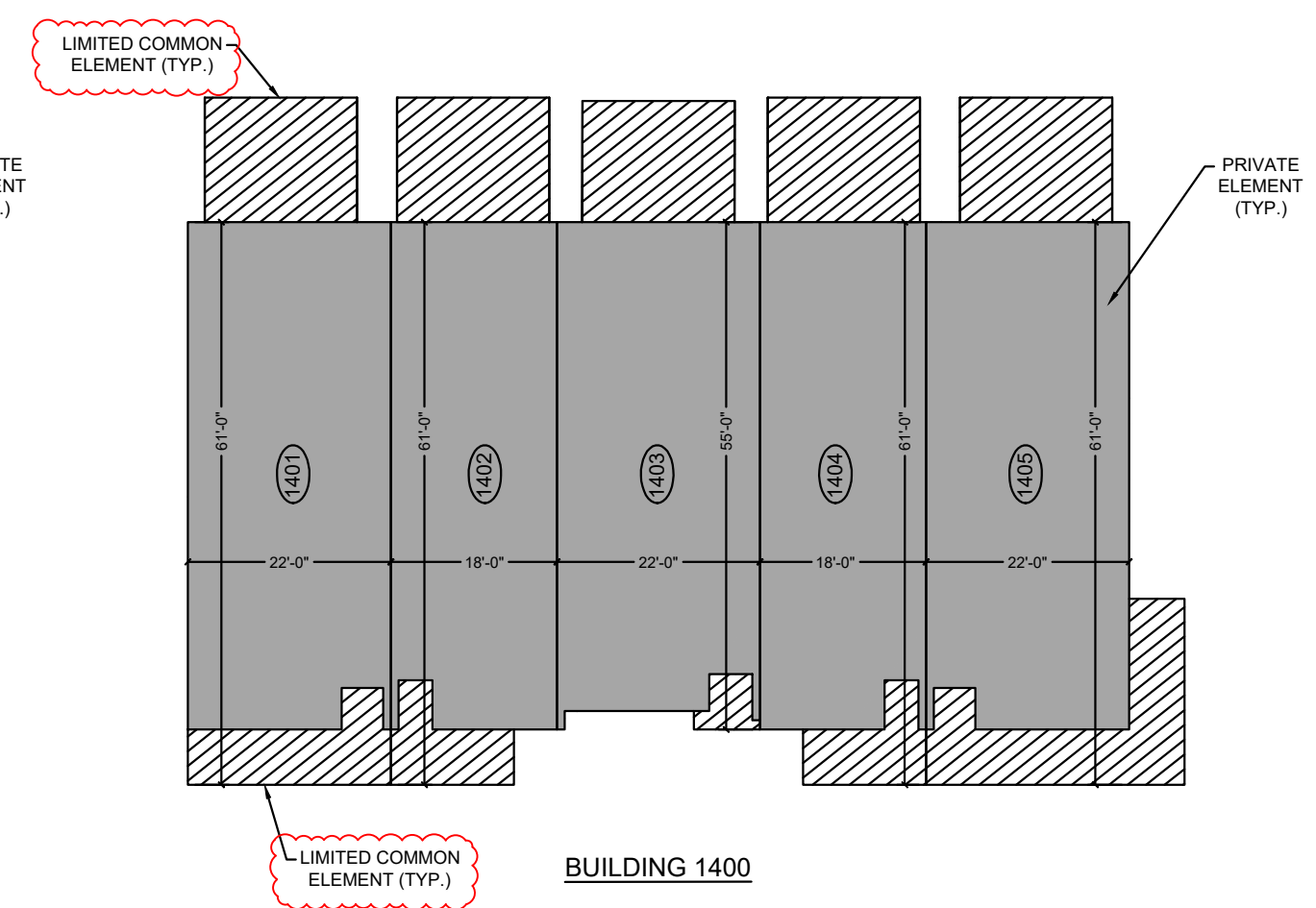
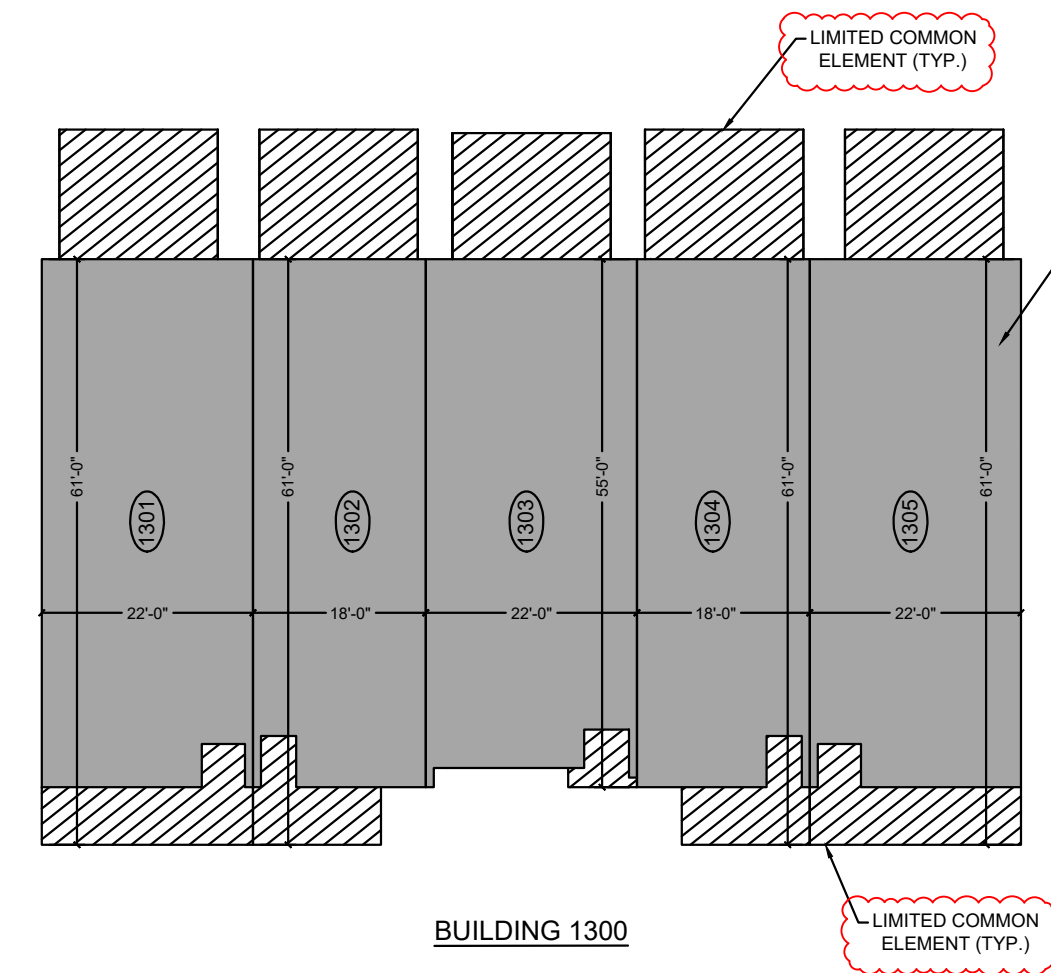
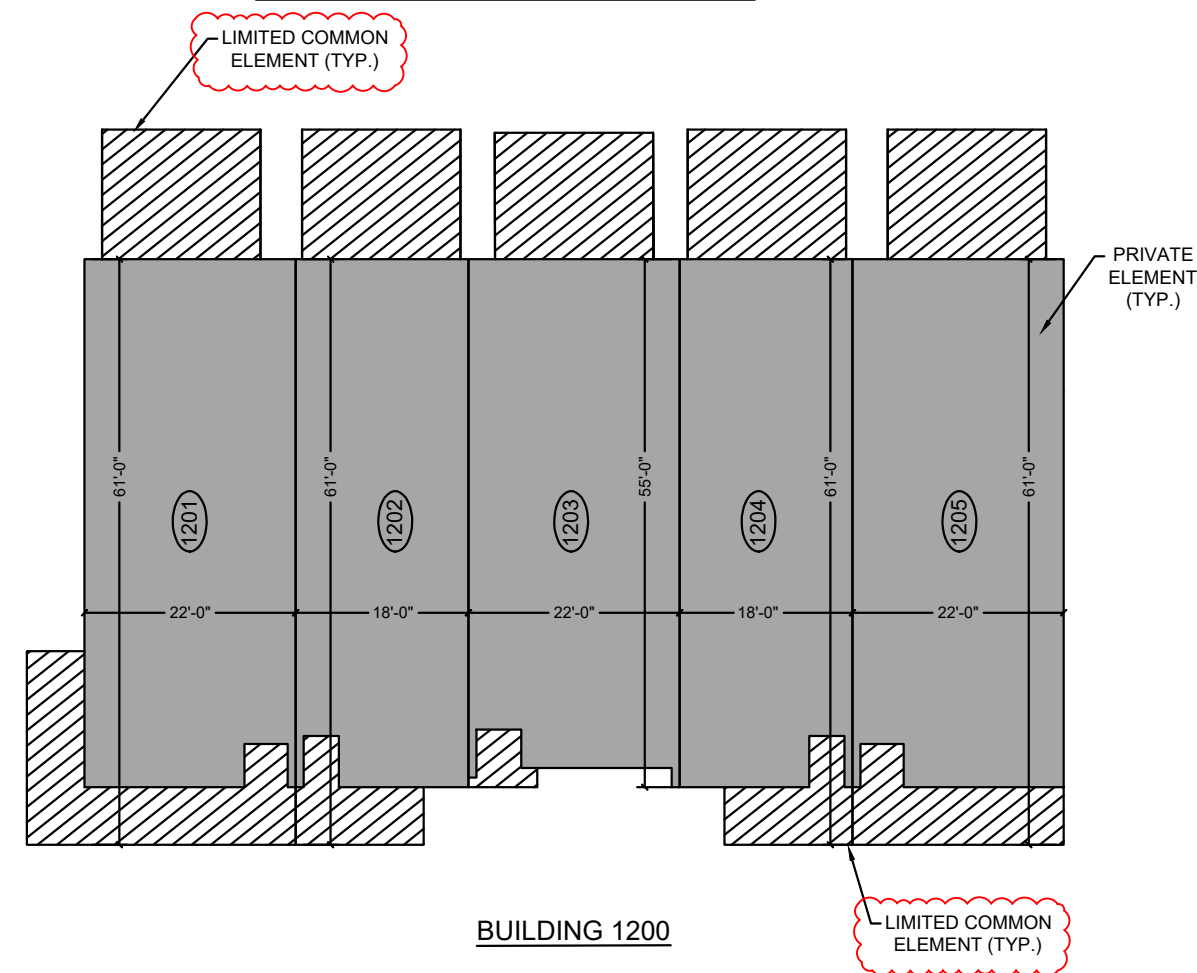
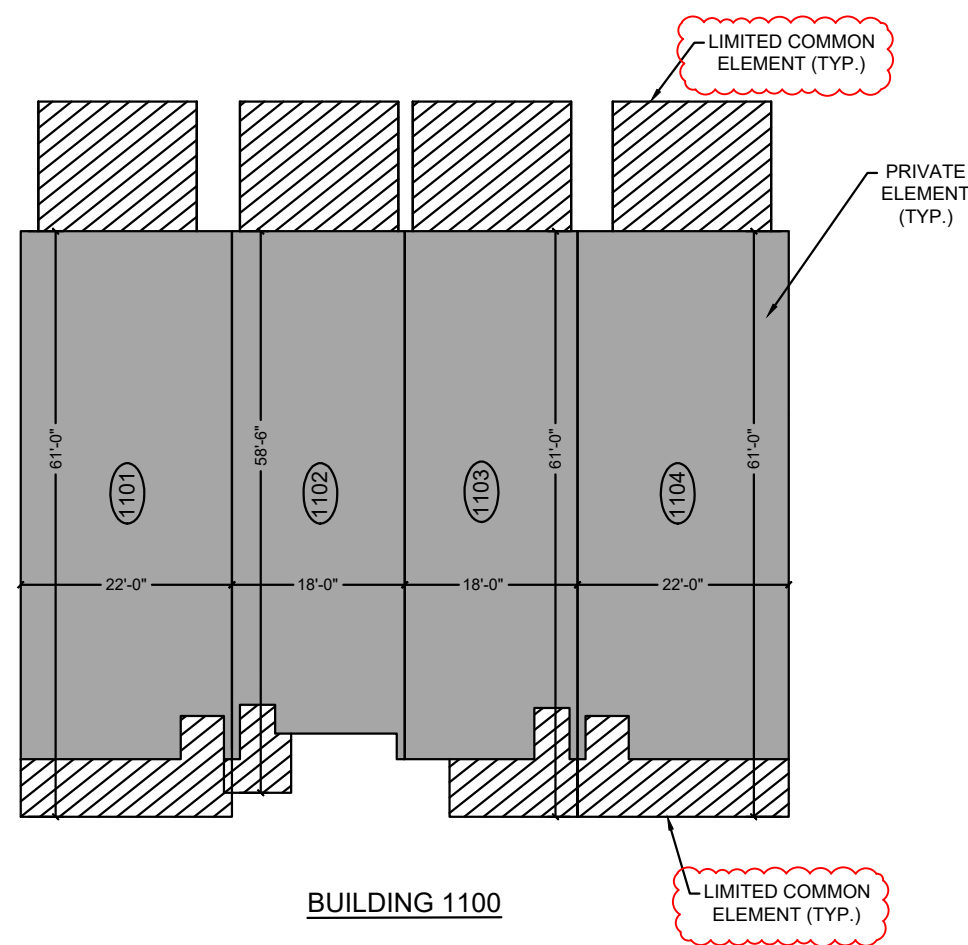
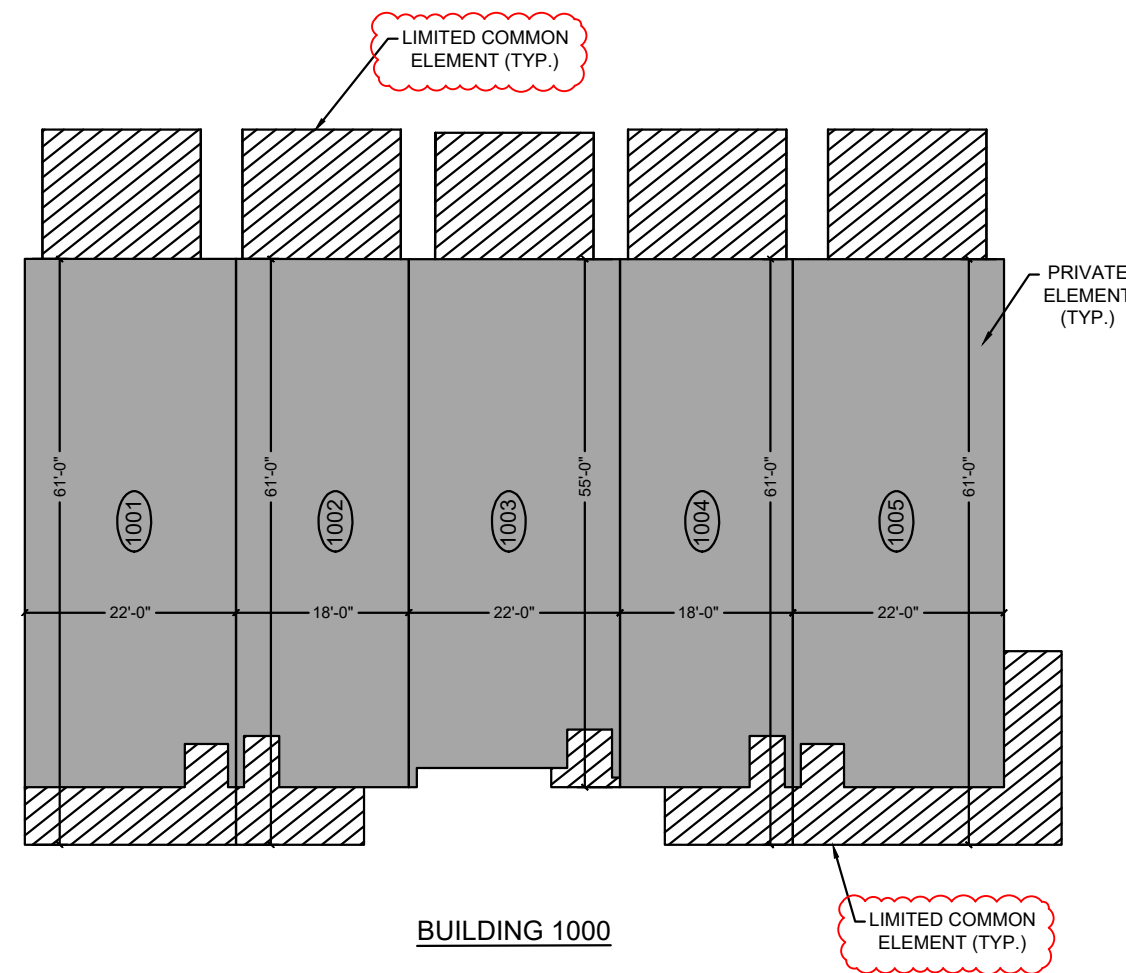
EASEMENT PLAT AND HORIZONTAL PROPERTY REGIME PLAT PROMENADE AT CLARI PARK PHASE 2

13th CIVIL DISTRICT OF RUTHERFORD COUNTY, CITY OF MURFREESBORO, TENNESSEE
DRAWN BY: BKB SCALE: 1" = 60'
JOB NUMBER: 07137-1941
DATE: OCTOBER 16, 2025 REVISED: NOVEMBER 5, 2025

RaganSmith
a Pape-Dawson company

SHEET 2 OF 3

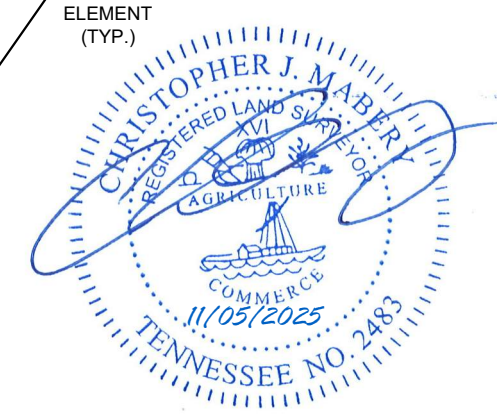
TOWNHOME BUILDING DETAILS



HATCHING LEGEND

- PRIVATE ELEMENT
- LIMITED COMMON ELEMENT (INCLUDING PORCHES, PATIOS, AND DRIVEWAYS)

0 20 40



CITY OF MURFREESBORO, RUTHERFORD COUNTY, TENNESSEE

EASEMENT PLAT AND HORIZONTAL PROPERTY REGIME PLAT

PROMENADE AT CLARI PARK PHASE 2

13th CIVIL DISTRICT OF RUTHERFORD COUNTY, CITY OF MURFREESBORO, TENNESSEE

DRAWN BY: BKB SCALE: 1" = 20'

JOB NUMBER: 07137-1941

DATE: OCTOBER 16, 2025 REVISED: NOVEMBER 5, 2025

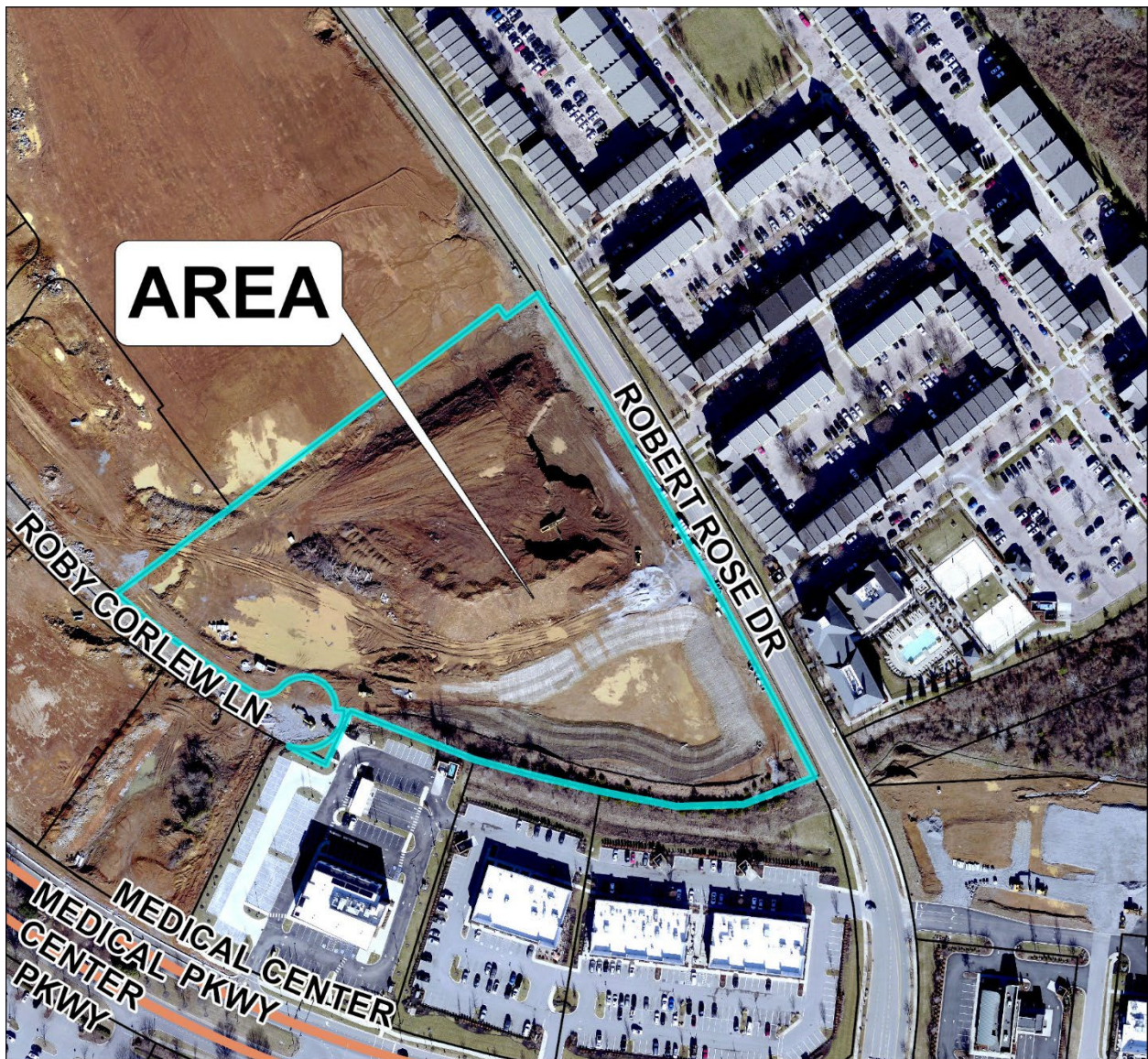
RaganSmith
a Paper-Dawson company

SHEET 3 OF 3

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
NOVEMBER 19, 2025
PROJECT PLANNER: BRAD BARBEE**

- 6.e. Clari Park, Lot 18 [2025-2091] horizontal property regime plat for 80 residential units on an 8.06-acre lot zoned PUD and GDO-1 located along Roby Corlew Lane and Robert Rose Drive, Hines Clari Park Land Holdings, LLC developer.**

This is the final plat review for Clari Park Lot 18 located along Roby Corlew Lane. The property is zoned PUD and GDO-1. The purpose of this horizontal property regime plat is to create one lot of record with 80 residential



units.

Staff Comments

Development Services – Planning

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) No Comments

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

- 1) No Comments

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

- 1) No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750 tstevens@murfreesborotn.gov

- 1) No Comments

Consolidated Utility District

William Steele, 615.225.3311, wsteele@ cudrc.com

- 1) *CUD/MTE/MWRD review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until CUD/MTE/MWRD has issued its formal approval. The plans shall comply with all applicable CUD/MTE/MWRD standards*

Middle Tennessee Electric Membership Corporation

Chris Barns, 615.494.0428, chrisbarns@mte.com

- 2) *CUD/MTE/MWRD review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until CUD/MTE/MWRD has issued its formal approval. The plans shall comply with all applicable CUD/MTE/MWRD standards*

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

- 1) No Comments

Murfreesboro Water Resources Department

George Reagan, 615.890.0862, greagan@murfreesborotn.gov

- 1) Submit Final Plat to MWRD for review. Prior to sending, field-locate, survey, and include on the plat any newly installed and/or existing water/sewer/repurified water mains, service stubs, meters, and cleanouts (appurtenances). This plat will be overlaid into GIS to check easements and whether the appurtenances are within the easements.
- 2) If existing public sewer located on-site has had easements recorded for it already, please show its extents and recording location on the plat. If easements to be recorded with this plat, please ensure this existing sewer is fully contained within the platted sewer easements (meeting MWRD minimum easement width policies). Revise easement labelling to reflect difference between existing easements and those to be platted herein.
- 3) If any section of an MWRD re-purified water main/stub is contained within this plat extents, please dedicate easement to contain it, per MWRD easement width policies (up to meter).
- 4) Since this subdivision requires new public sewer main extensions to serve it, posting surety will likely be required to approve/record this plat. Surety amounts depend on progress of this public sewer construction. Said public sewer has been issued a Notice To Proceed (NTP), but has not yet started construction.

Informational and Procedural Comments

Development Services – Planning

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) Per the engineer's certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
- 2) This site is not affected by the City's Major Transportation Plan.
- 3) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

- 1) No Comments

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

- 1) No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

- 1) The Planning Commission does not approve signage. Any signage that is shown on exterior building elevations, renderings, or site plans are not approved when those plans are reviewed as a function of the site plan and plat review processes.
- 2) Sign permits and reviews are a separate approval process, please reach out to Sign Administrator, Teresa Stevens at tstevens@murfreesborotn.gov for additional information.
- 3) Sign reviews can include temporary signs, attached signs, and ground signs. Strip lighting that is placed under an eave and outline lighting placed on the exterior of a building or canopy may be considered signs and require a separate review as well.
- 4) For proposed flagpole(s), the flagpole(s) shall be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for the flagpole(s) are established in the Sign Ordinance.

- 5) Any ground sign or freestanding wall sign (monument sign) to be located within a public utility or drainage easement shall have a completed and recorded City of Murfreesboro revocable license agreement with easement holders.
- 6) Any site and building signage installed prior to issuance of Certificate of Occupancy must have a sign permit issued. Any signs installed without a sign permit will delay your Certificate of Occupancy.
- 7) Proposed site signage to be installed shall be shown on utility and site plans. Proposed building signage shall be shown on elevation drawings.

Consolidated Utility District

William Steele, 615.225.3311, wsteelecudrc.com

- 1) No Comments

Middle Tennessee Electric Membership Corporation

Chris Barns, 615.494.0428, chrisbarns@mte.com

- 1) No Comments.

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

- 1) No Comments

Murfreesboro Water Resources Department

Anita Heck, 615.890.0862, aheck@murfreesborotn.gov

- 1) No Comments

CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	5,700.00'	006°35'05"	655.07'	S 30° 08' 54" E	654.77'
C2	1,375.00'	005°34'27"	61.77'	N 63° 54' 27" W	93.45'
C3	55.60'	14°22'27"	80.98'	N 66° 35' 30" E	81.84'
C4	43.50'	14°20'07"	106.55'	S 62° 06' 09" W	42.23'
C5	33.50'	07°02'20"	45.68'	N 53° 59' 59" W	228.14'
C6	1,335.46'	009°48'00"	228.42'	N 53° 30' 16" E	656.50'

LINE	BEARING	DISTANCE
L1	S 67° 25' 34" W	106.26'
L2	S 69° 44' 52" W	207.29'
L3	S 2° 50' 40" W	81.23'
L4	N 86° 38' 27" W	10.00'
L5	S 53° 27' 03" W	17.82'
L6	N 2° 59' 47" E	20.42'
L7	S 87° 45' 58" E	72.86'
L8	S 52° 41' 07" E	14.00'
L9	N 43° 20' 58" E	63.55'
L10	N 45° 40' 27" E	14.68'
L11	N 53° 30' 18" E	11.79'
L12	N 53° 30' 18" E	13.43'
L13	N 40° 57' 37" E	57.66'
L14	S 32° 39' 38" E	36.87'
L15	S 69° 44' 52" W	78.25'
L16	S 53° 29' 33" W	14.54'
L17	S 53° 31' 03" W	14.54'
L18	S 69° 44' 52" W	35.69'
L19	N 53° 30' 18" E	14.54'
L20	N 53° 30' 18" E	14.54'
L21	S 84° 48' 20" E	75.33'
L22	S 67° 25' 34" W	106.26'
L23	S 67° 25' 34" W	82.33'
L24	S 53° 30' 18" W	14.54'

LEGEND

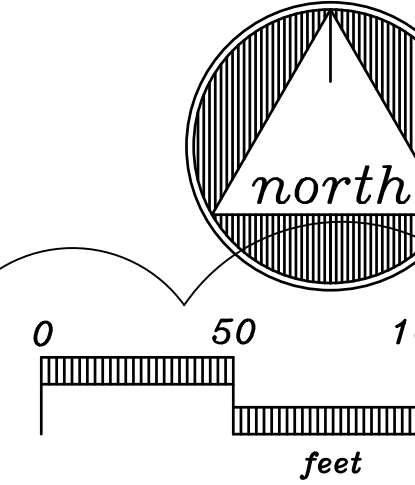
- IRON PIN (FOUND)
- IRON PIN SET (NEW)
- CONC. MONUMENT (FOUND)

LEGEND FOR 18' X 18' CUD CLEAR SPACE GANG METER EASEMENT

CUD # UNITS SERVED BY METER

CUD 1 1 THRU 4
 CUD 2 5 THRU 9
 CUD 3 10 THRU 18
 CUD 4 19 THRU 23
 CUD 5 24 THRU 29
 CUD 6 30 THRU 34
 CUD 7 35 THRU 44
 CUD 8 45 THRU 49
 CUD 9 50 THRU 54
 CUD 10 55 THRU 59
 CUD 11 60 THRU 64
 CUD 12 65 THRU 69
 CUD 13 70 THRU 75
 CUD 14 76 THRU 80

4' CUD 8 & 9 ARE 15' X 17' CLEAR SPACE EASEMENT FOR THE 2-GANG METER BOX



CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THIS "CATEGORY IV" SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE CURRENT STANDARDS AND APPLICATIONS SET BY RULE 0890-03-07 OF THE TENNESSEE BOARD OF EXAMINERS FOR LAND SURVEYORS. THE SURVEY WAS PERFORMED USING DUAL FREQUENCY REAL TIME KINEMATICS (RTK) GLOBAL POSITIONING SYSTEM (GPS), AND THE HORIZONTAL AND VERTICAL POSITIONAL ACCURACIES DO NOT EXCEED 0.005' BASED ON A 95% CONFIDENCE LEVEL. SURVEY DATE: XX-XXXX DATUM: NAD 83 (EPOCH 2000 READ MODEL, 100 COMMON SCALE FACTOR, 0.9999999999999999 TO GRID). I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON TO THE SPECIFICATION OF THE CITY ENGINEER.

DATE: 11/5/2025
 DAVID A. PARKER - REGISTERED SURVEYOR

SEC. INC.

DATE: 11/5/2025
 DAVID A. PARKER - REGISTERED SURVEYOR

BEARINGS SHOWN HEREON ARE BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM OF 1983 DERIVED USING THE T.D.O.T. TENNESSEE GEODETIC REFERENCE NETWORK (TGRN) CONSISTING OF MULTIPLE REFERENCE STATIONS TIED TO NAD83 (EPOCH 2000).

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTIONS AND DEDICATE ALL STREETS, ALLEYS, WALKS AND UTILITIES THEREIN, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: RECORD BOOK 2133, PAGE 1098
 WALTER O'SHEA (SENIOR MANAGING DIRECTOR)
 HINES CLARI PARK LAND HOLDINGS, LLC

CERTIFICATE OF APPROVAL FOR WATER SYSTEMS LOCATED IN THE WATER SERVICE JURISDICTION OF CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY

I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS, OR THE SPECIFICATIONS OF THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY IF THE ARE MORE STRINGENT, AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY TO ASSURE COMPLETION OF SAME.

DATE: CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY

CERTIFICATE OF APPROVAL ELECTRIC POWER

MURFREESBORO WATER RESOURCES OFFICIAL WILL PROVIDE ELECTRIC SERVICE TO THE MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTEMC) WILL PROVIDE ELECTRIC SERVICE TO THE MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTEMC) AS DEFINED IN THE RULES AND REGULATIONS, BY-LAWS, POLICY BULLETINS AND OPERATIONAL BULLETINS OF MTEMC, AND IN ACCORDANCE WITH THE PLAT APPROVAL CHECKLIST, TREE PLANTING GUIDELINES AND OTHER REGULATIONS CONTAINED ON THE MTEMC WEB SITE AT WWW.MTEMC.COM (COLLECTIVELY THE "REQUIREMENTS"). NO ELECTRIC SERVICE WILL BE PROVIDED UNTIL ALL REQUIREMENTS HAVE BEEN MET AND APPROVED IN WRITING BY AN AUTHORIZED REPRESENTATIVE OF MTEMC. ANY APPROVAL IS, AT ALL TIMES, CONTINGENT UPON CONTINUING COMPLIANCE WITH MTEMC'S REQUIREMENTS.

DATE: AUTHORIZED MTEMC OFFICIAL

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

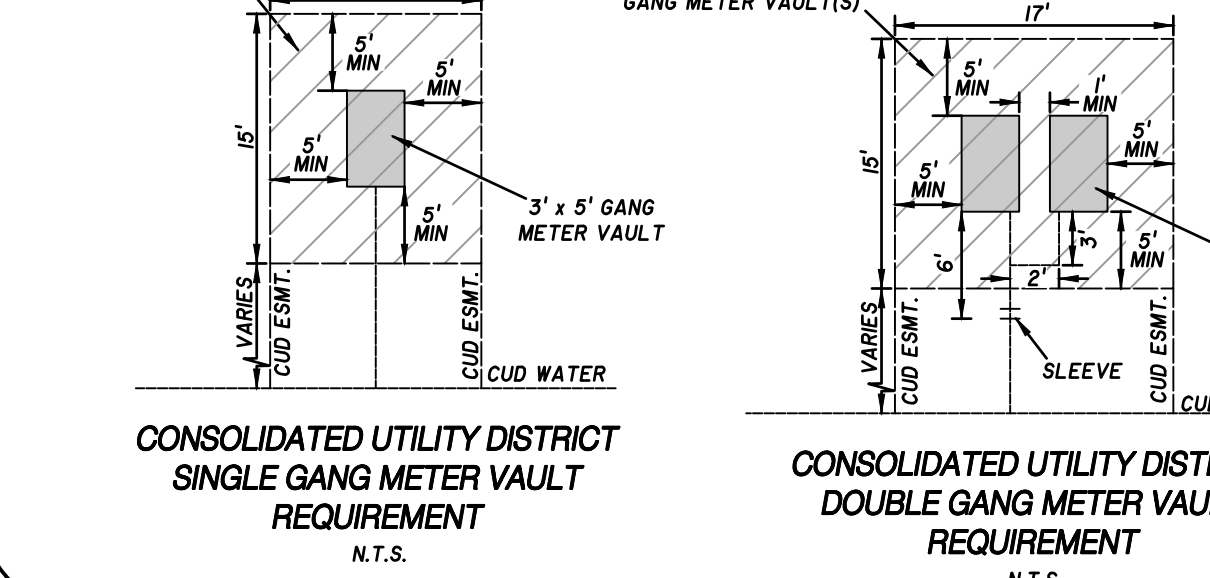
I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND THE APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND THE REQUIREMENTS OF TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, DESIGN CRITERIA FOR SEWAGE WORKS; (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME; OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE: MURFREESBORO WATER RESOURCES OFFICIAL

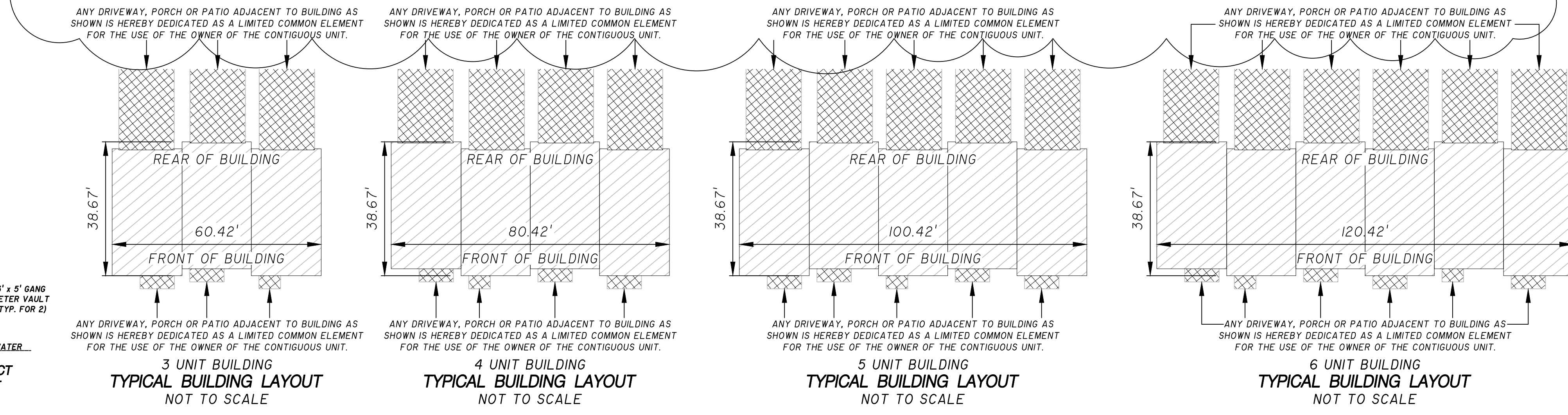
CERTIFICATE OF THE APPROVAL OF STREETS AND DRAINAGE

I HEREBY CERTIFY: (1) THAT STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND STORMWATER QUALITY CONTROLS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE: CITY ENGINEER

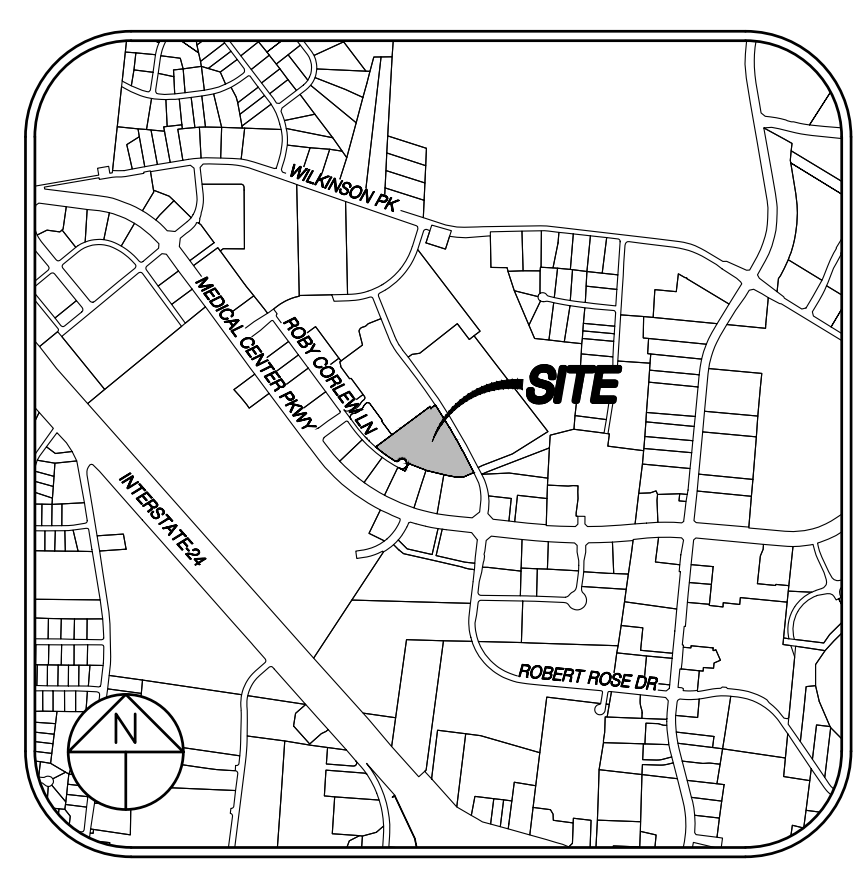


- CUD NOTES**
- CLEAR SPACE TO BE VOID OF DRAINAGE FACILITIES, STRUCTURES, DRIVEWAYS, MAILBOXES, SIDEWALKS, TREES, PUBLIC UTILITIES, AND UTILITY SERVICE CONNECTIONS.
 - SMALL DECORATIVE LANDSCAPING IS PERMITTED WITHIN THE CLEAR SPACE AT PROPERTY OWNER'S RISK. C.U.D. IS NOT RESPONSIBLE TO RESTORE LANDSCAPING IF IT IS DISTURBED AS STATED IN C.U.D. LANDSCAPE AGREEMENT.
 - SEWER SERVICES, TREES, AND BUILDINGS MUST BE LOCATED A MINIMUM 10 FT. AWAY FROM WATER SERVICE AND VAULT.
 - SIDEWALKS, UTILITY CROSSING, AND LANDSCAPING SHALL BE PERMITTED WITHIN C.U.D. EASEMENT, BUT NOT CLEAR SPACE AREA. OWNER SHALL SUBMIT ENCROACHMENT AGREEMENT TO C.U.D. IF LANDSCAPING, SIGN, OR OTHER SUCH FACILITIES ARE LOCATED WITHIN C.U.D. EASEMENT.
 - OTHER UNDERGROUND UTILITY CROSSINGS SHALL COMPLY WITH SEPARATION REQUIREMENTS OUTLINED IN C.U.D. TECHNICAL SPECIFICATIONS.



GENERAL NOTES

- THE PURPOSE OF THIS PLAN IS TO RECORD A HORIZONTAL PROPERTY REGIME, IN ACCORDANCE WITH THE TENNESSEE HORIZONTAL PROPERTY REGIME ACT, FOR 2-3-BEDROOM, 1-STORY ATTACHED UNITS AND TO DELINEATE COMMON AREAS AND LIMITED COMMON ELEMENTS AND EASEMENTS AS SHOWN.
- BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO CITY OF MURFREESBORO USING 'DOT' GPS NETWORK SYSTEM (NAD 83-96).
- THIS PROPERTY LIES WITHIN ZONE 4, NOT IN A SPECIAL FLOOD HAZARD AREA, AS DETERMINED FROM ELEVATIONS SHOWN ON FEMA FIRM MAPS FOR RUTHERFORD COUNTY, MAP NOS. 4749C0255 J & 4749C0266 J, EFFECTIVE DATE MAY 9, 2023.
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE AND PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. AVAILABILITY AND LOCATION OF UTILITIES SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY.
- NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR, THEREFORE, THIS PROPERTY IS SUBJECT TO THE FINDINGS OF A CURRENT AND ACCURATE TITLE SEARCH.
- SUBJECT PROPERTY IS ZONED PUD W/000-Overlay. MINIMUM BUILDING SETBACK FOR THIS SITE IS:
 FRONT: 15'
 SIDE: 5'
 REAR: 20'
- THE SOIL MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT; THEREFORE, THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
- IT IS THE RESPONSIBILITY OF EACH LOT BUYER OR BUILDER TO DESIGN AND CONSTRUCT IN ACCORDANCE WITH A SATISFACTORY GRADING AND DRAINAGE PLAN WHICH WILL CONVEY SURFACE WATER, WITHOUT PONDING IN THE LOT OR UNDER THE BUILDING, FROM THE BUILDING SITE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
- PUBLIC UTILITY EASEMENTS AS SHOWN ARE INTENDED FOR NON-EXCLUSIVE USE BY UTILITIES SUCH AS CONSOLIDATED UTILITY DISTRICT, MIDDLE TENNESSEE ELECTRIC, NATURAL GAS COMPANIES, AT&T, CABLE TELEVISION SERVICES AND OTHERS.
- UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION, AS AN ALTERNATIVE, THE HOME OWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION, THE HOME BUILDER AND/OR HOME OWNER SHALL BE RESPONSIBLE FOR COMPLYING WITH THIS REQUIREMENT.
- THE STREETS IDENTIFIED ON THIS PLAN MAY BE CONSTRUCTED OR RECONSTRUCTED IN THE FUTURE WITHOUT CONSULTATION OR NOTICE TO THE OWNERS OF THE LOTS IN THE SUBDIVISION.
- EASEMENTS IN THE SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN THEM UNTIL SOME FUTURE TIME AND THERE MAY BE NO NOTICE OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THIS CONSTRUCTION.
- PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY LOT IN THIS SUBDIVISION, THE OWNER SHALL POST A BUILDING PERMIT SURETY IN AN AMOUNT TO BE DETERMINED BY THE CITY ENGINEER TO ASSURE CONSTRUCTION OF A LOT INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO SIDEWALKS, DRAINAGE IMPROVEMENTS, OR CONSTRUCTION OF WATER QUALITY ELEMENTS. SUCH CONSTRUCTION SHALL BE COMPLETED WITHIN NINE (9) MONTHS OF ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- CONSOLIDATED UTILITY DISTRICT MAY REQUIRE AN AMENDMENT PLAT TO DEDICATE ANY NECESSARY EASEMENTS REQUIRED WITH THE DEVELOPMENT OF LOT 18 ONCE CONSTRUCTION IS COMPLETE.
- IN ORDER TO FINALIZE THE CONVEYANCE AS PLATTED, THE SUBJECT PROPERTY NEEDS TO BE DEEDED TO/BETWEEN THE PARTIES, WHICH SHOULD REFER TO THE NEW PLAT.
- ALL GARAGES ARE TO BE USED FOR VEHICULAR PARKING ONLY AND MAY NOT BE USED FOR HOUSEHOLD STORAGE. TO THE EXTENT THAT IT WOULD PRECLUDE THE PARKING OF THE NUMBER OF VEHICLES THAT THE GARAGE WAS DESIGNED TO ACCOMMODATE.
- ALL HOME OWNERS WILL BE REQUIRED TO BE A MEMBER OF THE HOME OWNERS ASSOCIATION.
- H.O.A. WILL BE MANAGED BY INDEPENDENT 3RD PARTY MANAGEMENT COMPANY.
- ROADWAYS WITHIN DEVELOPMENT ARE PRIVATE. CUD SHALL HAVE 24-HOUR UNRESTRICTED INGRESS AND EGRESS ACCESS TO ALL WATER FACILITIES THROUGH THE DESIGNATED PRIVATE RIGHT OF WAY EASEMENTS LOCATED HEREIN. ALL CUD EASEMENTS ARE TO REMAIN FREE FROM OBSTRUCTIONS. ANY ENCROACHMENTS WITHIN A CUD EASEMENT INCLUDING BUT NOT LIMITED TO, STRUCTURES, LANDSCAPING, FENCING OR ANY OTHER OBSTRUCTION REQUIRES PRE-APPROVAL FROM CUD WITH THE APPROPRIATE CUD ENCROACHMENT AGREEMENT EXECUTED PRIOR TO INSTALLATION OF SAID ENCROACHMENT.
- DUE TO THE LIMITED AMOUNT OF GREEN SPACE FOR THIS PROJECT, THERE IS A SMALL MARGIN FOR ERROR FOR UTILITIES INSTALLATION. IN ADDITION TO ALL OTHER CUD INSPECTOR CHECKLIST REQUIREMENTS, CUD WILL ALSO REQUIRE THAT ALL UTILITIES AND PAVEMENT BE INSTALLED PRIOR TO THE RELEASE OF WATER TAPS BEING SOLD. IF AT ANY TIME THERE ARE CONFLICTS THAT ARISE CONCERNING CUD CLEAR SPACE AND EASEMENT REQUIREMENTS WITH REGARD TO, DRIVEWAYS, TREES, BORDERS, LANDSCAPING, SIDEWALKS, STREET LIGHTS, FENCING, UTILITY SEPARATION, AND TDEC SEPARATION REQUIREMENTS, CUD RESERVES THE RIGHT TO REFUSE AND/OR DISCONNECT WATER SERVICES UNTIL ALL ISSUES ARE RESOLVED ACCORDING TO THE CUD.
- CUD ACCESS TO THE DESIGNATED METER LOCATION AREA SHALL BE UNENCUMBERED BY DRIVEWAYS, SIDEWALKS, FENCING OR LANDSCAPING. A PERMANENT ACCESS EASEMENT EXISTS ON EACH LOT AT THE METER VAULT LOCATION. THIS EASEMENT IS INTENDED TO ASSURE SERVICE AND REPAIR ACCESS TO THE METER(S) AND SERVICE LINE(S). CUD WILL NOT BE LIABLE TO REPAIR OR REPLACE ANY REMOVED OR DAMAGED ENCROACHMENTS WITHIN THE EASEMENT, AND WILL NOT BE FINANCIALLY LIABLE FOR DAMAGES TO ANY ENCROACHMENTS. SEE CUD CLEAR SPACE DETAIL.
- THE LOT IS IDENTIFIED AS LOT 18 OF CLARI-PARK SUBDIVISION, AS RECORDED IN PLAT BOOK _____, PAGE _____, AT THE RUTHERFORD COUNTY REGISTER OF DEEDS OFFICE.
- PROPERTY IS LOCATED WITHIN MEDICAL CENTER PARKWAY 6 OVERALL CREEK SEWER ASSESSMENT DISTRICTS.
- ACCESS EASEMENTS ON LOT 18 ARE FOR THE BENEFIT OF EMERGENCY VEHICLES, UTILITY VEHICLES AND THE RESIDENTS AND OWNERS OF LOT 18 AND THEIR GUESTS.



CERTIFICATE OF COMPLIANCE WITH THE HORIZONTAL PROPERTY ACT

I HEREBY CERTIFY THAT THIS PLAT HAS BEEN PREPARED IN CONFORMANCE WITH THE HORIZONTAL PROPERTY ACT, TCA 66-27-101, ET. SEQ.

DATE: _____

BRIANNA BARTELSMEYER TURNER, ASSOCIATE
 BRADLEY

OWNER

HINES CLARI PARK LAND HOLDINGS, LLC
 852 LAKE MEAD AVE, STE 603
 JACKSONVILLE, FL 32258
 CONTACT: WALTER O'SHEA

DEED REFERENCE

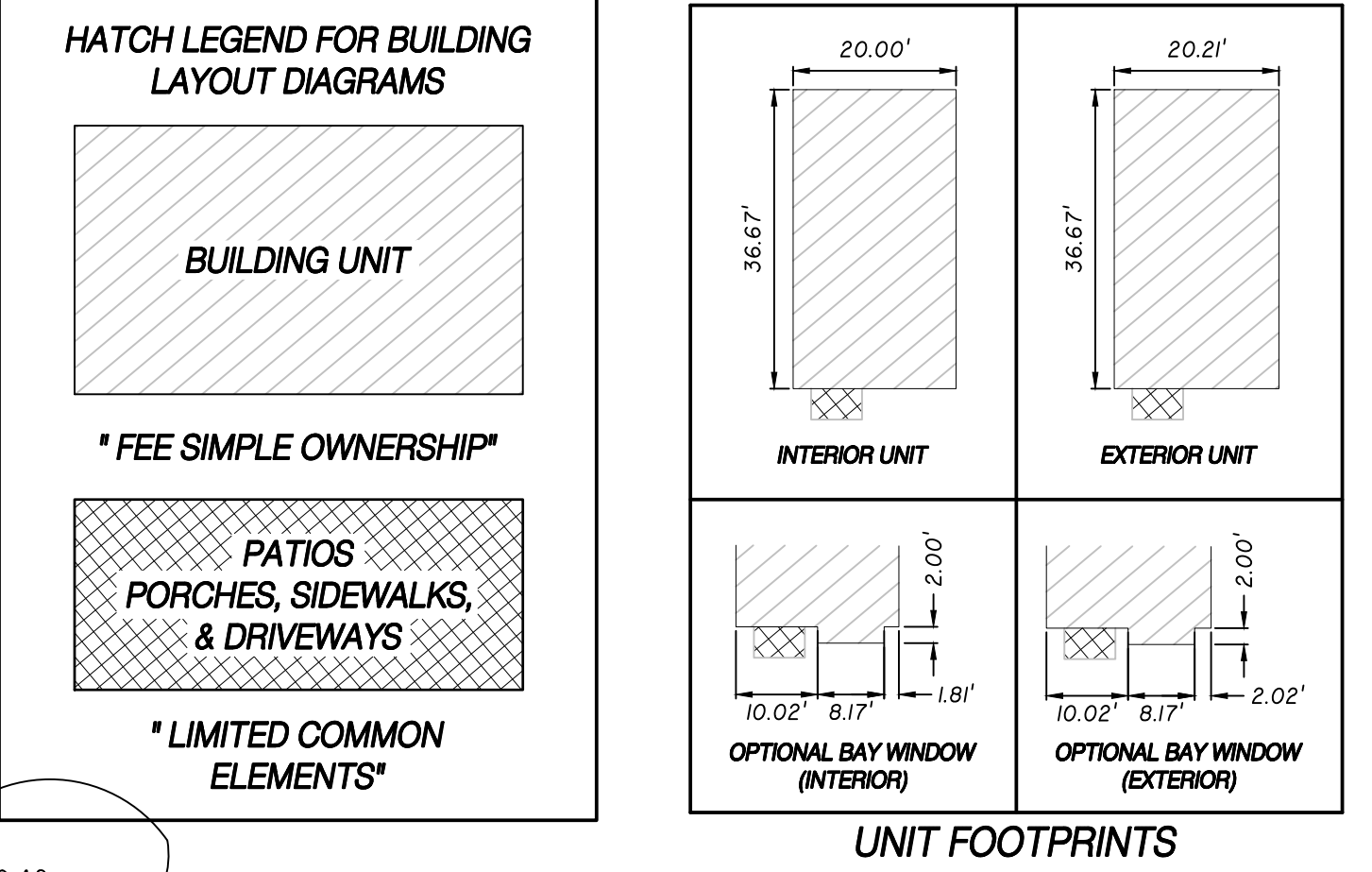
MAP 92, PARCEL 8.22
 R.B.K. 2133, PG. 1098
 CLARI PARK, SECTION 1

INTENDED USE

SINGLE FAMILY ATTACHED - TOWNHOMES

LAND USE DATA

ZONED: PUD W/000-OVERLAY
 (80) 4-STORY BUILDING
 BUILDING HT.: 39'-0" (4-STORY)
 TOTAL FLOOR AREA: 58,002 SQ.FT. (FOOTPRINT)
 1 LOT ON: 8.06± ACRES



DATE OF RECORDING: _____
 TIME OF RECORDING: _____
 PLAT BOOK: _____, PAGE _____

HORIZONTAL PROPERTY REGIME & PRIVATE ELEMENT PLAT

LOT 18 CLARI-PARK SUBDIVISION

CITY OF MURFREESBORO, TENNESSEE
 13th CIVIL DISTRICT, RUTHERFORD COUNTY, TENNESSEE

SEC, Inc. SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE

WWW.SEC-CIVIL.COM
 850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 890-7901 • FAX: (615) 895-2567

PROJ. # 14358.75 DATE: 10/16/2025 FILE: 14358 Clari-Park Lot 18-HPR DRAWN BY: WCC SCALE: 1" = 50' SHEET 1 OF 1

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS – NOVEMBER 19, 2025
PRINCIPAL PLANNER: HOLLY SMYTH, AICP**

7.a. Manchester Farms [2025-2084] final plat for 1 lot on 34.8 acres zoned RM-16 along Manchester Pike and Elam Farms Parkway, CC Manchester Farm, LP developer.

The proposed Final Plat involves creating one legal lot of record on 34.8 acres with accessory lot, providing for various easements and dedicating necessary public rights of way (ROW). The parcel is owned by CC Manchester Farm LP and Crescent Communities LLC and is addressed as 3150 Manchester Pike. The approved apartment project has access points from both Manchester Pike and Elams Farms Parkway. The 2040 Major Transportation Plan Recommends that Manchester Pike be a 5 lane roadway and Elam Farms Parkway be a 3 lane roadway. Manchester

Manchester Pike's 90' of ROW is adequate to meet the 5-lane roadway standard. The dedication of the 60' right-of-way for Elam Farms Parkway is adequate to accommodate a 3-lane road. However, only a portion of Elam Farms Parkway is being constructed because the Army Corps of Engineers would not approve the construction of the roadway, but all the ROW is being dedicated. Therefore, the dedication of the full 60' right-of-way across the entire parcel will need to be dedicated by deed prior to the recording of the plat.



Easements: Public Utility easements are being offered at 10' width along both public street frontages. The following easements interior to the parcel include the following:

- 20' to 30' sanitary sewer and force main easements
- 20' underground utility easements
- 30' CUD easements
- 20' construction and slope easement
- 10' Electric easements
- Variable size drainage easements

Staff recommends approving the Final Plat subject to all staff comments.

EXHIBIT A – STAFF COMMENTS

These remaining comments require changes to the site plan and or architecture of proposed structure(s). Please reach out to the reviewer listed for questions regarding the comments.

Development Services – Planning

Holly Smyth, 615.893.6441, hsmyth@murfreesbotn.gov

1. There should be 2 Owner signature lines for “Lot 1 with accessory lot” to match the Assessor’s Parcel Data, not on 2 separate land masses.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

1. **The portion of Right of Way for Elam Farms Parkway which is not being constructed must be dedicated by deed prior to the recording of the plat. Include book and page reference on the plat for the dedication.** Subdivision regulations require that the roads either be constructed or a surety in place for that construction. This will not be the case for the unconstructed portion of the road which is why the dedication must be by deed prior to the signing of the plat. Provide city staff with a legal description for that portion of right of way so that the deeds can be drafted.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No comments.

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750 tstevens@murfreesborotn.gov

1. No comments

Consolidated Utility District

Brandon Hunter, 615.225.3311, [bhunter@cudrc.com](mailto:bhunter@ cudrc.com)

1. Water line construction must be complete before CUD final approval of plat. CUD reserves the right for further review once project is complete and has been released by the CUD inspector.
2. Water services must be field located and shown in the correct location.
3. Include CUD required notes and clear space details on plat.
4. Submit plat directly to CUDengineering@cudrc.com for further review and comment.

Middle Tennessee Electric Membership Corporation

Ben Martin, 615.494.1621, benmartin@mte.com

1. *CUD/MTE/MWRD review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until CUD/MTE/MWRD has issued its formal approval. The plans shall comply with all applicable CUD/MTE/MWRD standards.*

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1. No comments.

Murfreesboro Water Resources Department

Ashley Mallela, 615-848-3200, amallela@murfreesborotn.gov

1. Submit Final Plat to MWRD for review. Prior to sending, field-locate, survey, and include on the plat any newly installed and/or existing water/sewer/repurified water mains, service stubs, meters, and cleanouts (appurtenances). This plat will be overlaid into GIS to check easements and whether the appurtenances are within the easements.
2. For budgeting purposes, Owner should check with MWRD for sewer connection fees, which may be substantial.
3. Add the following note to the plat: Property is located within the Buchanan/Elam Rd Sewer Assessment District.

EXHIBIT B - INFORMATIONAL & PROCEDURAL COMMENTS

These comments contain information and action items that must be completed before a Certificate of Occupancy can be released by the Planning Department.

Development Services – Planning

Holly Smyth, 615.893.6441, hsmyth@murfreesborotn.gov

- 1) Per the engineer's certification on this plan, this property lies in Zone AE (100-year flood zone) and Zone X (500 year flood zone), but is outside areas designated as floodway per the latest FIRM maps (5/9/2023) for the City of Murfreesboro, Panel 47149C0290J.

- 2) This site plan is affected by the City’s Major Transportation Plan.** The project frontages are located along Manchester Pike (designated as Major Arterial and is a State Highway and the 2040 Major Transportation Plan calls out a recommended 3-lane cross section roadway to extend Elam Farms Parkway from its current terminus to Manchester Pike. **The entire 60’ right-of-way of Elam Farms Parkway through this property is offered up for dedication but only portions of the roadway are being constructed with the project.**

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

1. Prior to submitting the final plat to the Planning Department for signatures, submit an Engineer’s Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
2. Prior to submitting the final plat to the Planning Department for signatures, a subdivision surety for roads and drainage must be submitted in accordance with the City’s subdivision regulations.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

1. No comments

Consolidated Utility District

Brandon Hunter, 615.225.3311, bhunter@ cudrc.com

1. Not applicable

Middle Tennessee Electric Membership Corporation

Chris Barns, 615.494.0428, murfreesborocity.engineering@mtmc.com

- 1) See above

Murfreesboro Fire and Rescue Department

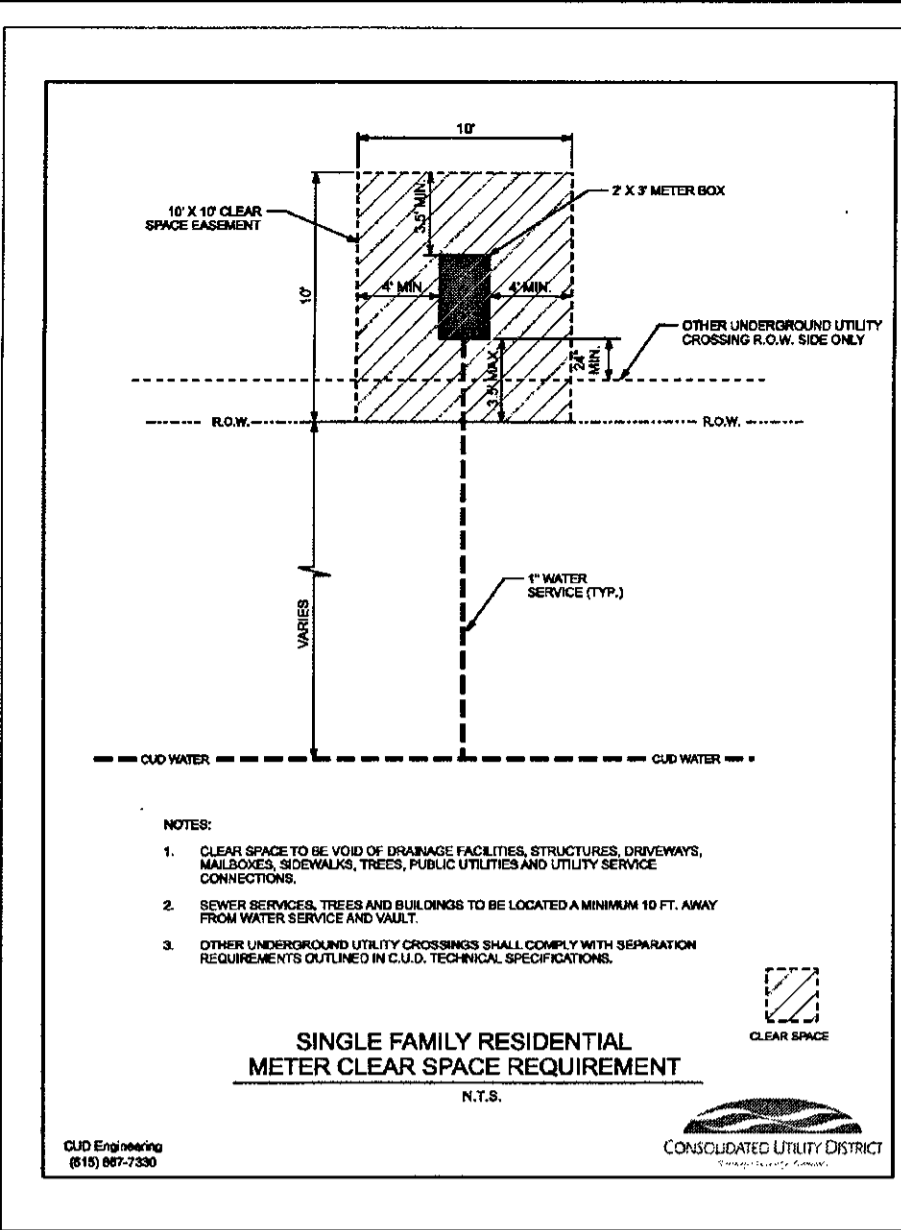
Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

- 1) No comments.

Murfreesboro Water Resources Department

Anita Heck, 615.890.0862, aheck@murfreesborotn.gov

1. See above

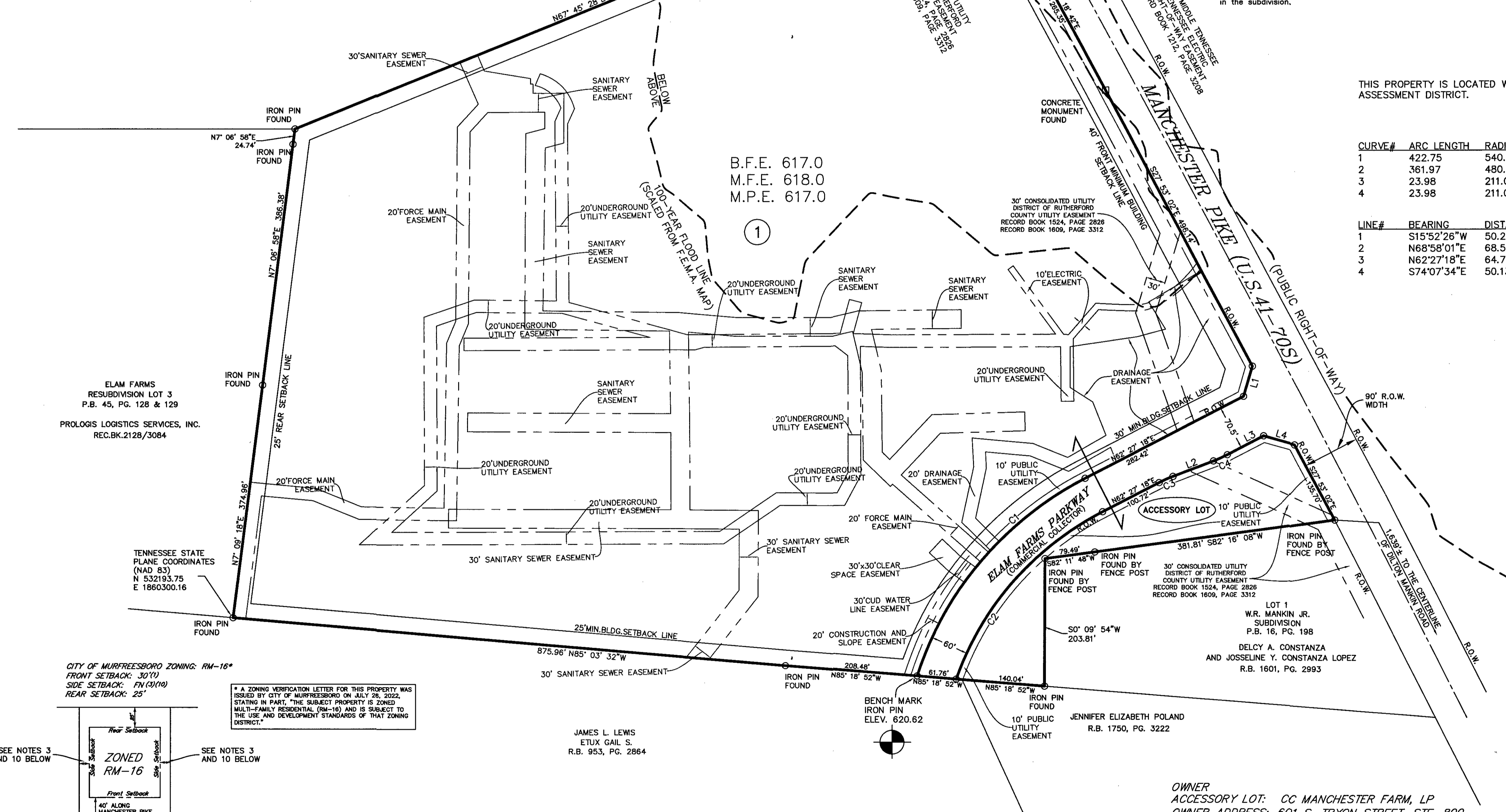


CUD NOTES: CUD access to the designated meter location area shall be unencumbered by driveways, sidewalks, fencing or landscaping. A permanent access easement exists on each lot at the meter location. This 10'x10' easement is intended to ensure service and repair access to the meter(s) and service line(s). CUD will not be liable to repair or replace any removed or damaged encroachments within the easement and will not be financially liable for damages to any encroachments. See detail sheet.

NOTES:

1. CLEAR SPACE TO BE VOID OF DRAINAGE FACILITIES, STRUCTURES, UNDESIRABLE MATERIALS, TERRAZZO, TREES, PUBLIC UTILITIES AND UTILITY SERVICE CONNECTIONS.
2. OTHER UNDERGROUND UTILITY CROSSINGS SHALL BE LOCATED A MINIMUM 15 FT. AWAY FROM WATER SERVICE AND WALL.
3. OTHER UNDERGROUND UTILITY CROSSINGS SHALL COMPLY WITH SEPARATION REQUIREMENTS OUTLINED IN CUD TECHNICAL SPECIFICATIONS.

SINGLE FAMILY RESIDENTIAL METER CLEAR SPACE REQUIREMENT
N.T.S.

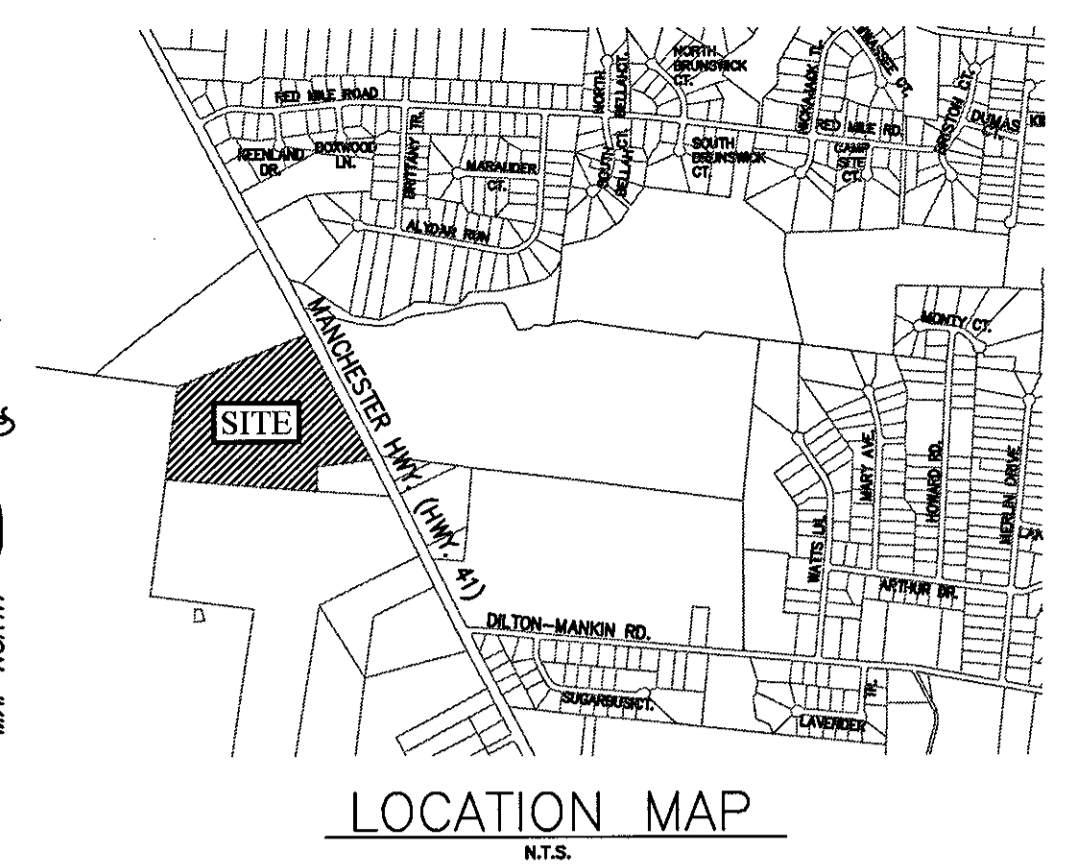


PLAT NOTES

1. The purpose of this plat is to create one lot of record with an accessory lot, and to record rights-of-way and easements as shown.
2. In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
3. Underground utilities shown were located using available aboveground evidence, and also from information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
4. It is the responsibility of each builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the structure, from the structure to the drainage system constructed by the subdivision developer.
5. Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
6. Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways; including, but not limited to, sanitary sewers, force mains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
7. Easements in the subdivision may not have infrastructure constructed within them until some future time. There may be no notice or consultation with the individual lot owners of this construction.
8. Release and Covenant Not to Sue: Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
9. The streets identified on the plat may be constructed or reconstructed in the future without consultation or notice to the owners of the lots in the subdivision.

NOTES:

1. IN TENNESSEE, IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.
2. UNDERGROUND UTILITIES SHOWN WERE LOCATED USING AVAILABLE ABOVE-GROUND EVIDENCE, AND ALSO FROM INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES. THE EXISTENCE OR NON-EXISTENCE OF THE UTILITIES SHOWN AND ANY OTHER UTILITIES WHICH MAY BE PRESENT ON THIS SITE OR ADJACENT SITES SHOULD BE CONFIRMED WITH THE UTILITY OWNER PRIOR TO COMMENCING ANY WORK.



CERTIFICATE OF OWNERSHIP AND DEDICATION
I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks and other open spaces to public or private use as noted.

Date _____ CC Manchester Farm, LP
Record Book 2258, Page 2655 Owner, Lot 1

Date _____ CC Manchester Farm, LP
Record Book 2258, Page 2655 Owner, Accessory Lot

Certificate of Approval for Recording
I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for the City of Murfreesboro, Tennessee with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the office of the Rutherford County Register of Deeds provided that it is so recorded within one year of this date.

Date _____ Planning Commission Secretary

Certificate of Approval of Streets and Drainage
I hereby certify that (1) the streets, drainage structures, drainage improvements, and stormwater quality controls for the subdivision shown hereon have been installed in accordance with city specifications, or (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same.

Date _____ City Engineer

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS
I hereby certify that (1) the sewer lines and appurtenances for the sewer system of the subdivision shown hereon have been installed in accordance with city codes and specifications and the requirements of the Tennessee Department of Environment and Conservation, Design Criteria for Sewage Works; (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same; or (3) that a subsurface sewage system will be permitted subject to the approval of the Rutherford County Health Department.

Date _____ Murfreesboro Water Resources Official

CERTIFICATE OF APPROVAL OF WATER SYSTEMS
Certificate of Approval of Water Systems Located in the Water Service Jurisdiction of Consolidated Utility District of Rutherford County
I hereby certify that (1) the water lines and appurtenances for the water system of the subdivision shown hereon have been installed in accordance with city codes and specifications, or the specifications of the Consolidated Utility District of Rutherford County if they are more stringent, and the Tennessee Department of Environment and Conservation, Community Public Water Systems Design Criteria, or (2) that a Surety for these improvements has been posted with the Consolidated Utility District of Rutherford County to assure completion of same.

Date _____ Consolidated Utility District Official

Certificate of Approval for Electric Power in the Electric Service Jurisdiction of Middle Tennessee Electric Membership Corporation
Middle Tennessee Electric Membership Corporation (MTEMC) will provide electric service to the subject property according to the normal operating practices of MTEMC as defined in the rules and regulations, bylaws, policy bulletins and operational bulletins of MTEMC, and in accordance with the plat approval checklist, tree planting guidelines and other regulations contained on the MTEMC website at www.mtemc.com (collectively the "Requirements"). No electric service will be provided until MTEMC's Requirements have been met and approved in writing by an authorized representative of MTEMC. Any approval is, at all times, contingent upon continuing compliance with MTEMC's Requirements.

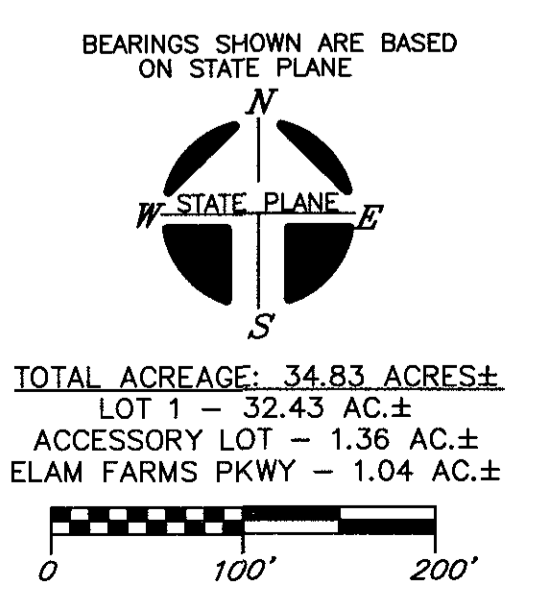
Date _____ Middle Tennessee Electric Membership Corporation

I HEREBY CERTIFY THAT THIS IS A CATEGORY "IV" SURVEY AND THE PRECISION OF THE GPS PORTION OF THIS SURVEY (IN RELATIVE POSITIONING ACCURACY GIVEN AT THE 95% CONFIDENCE LEVEL) IS 1:10,000 AS SHOWN HEREON AND THAT THIS SURVEY WAS DONE IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS.

DATE OF RECORDING: _____
TIME OF RECORDING: _____
PLAT BOOK: _____, PAGE: _____

GLOBAL POSITION SYSTEM SURVEY NOTES

1. The survey portion was performed using the following global positioning system (GPS) survey equipment: Topcon HiPer V (Dual frequency). The GPS portion of this survey was performed using RTK (Real-Time Kinematic) surveying methods. TDOT CORS station TN38 for horizontal and for vertical control.
2. The relative positional accuracy is stated in the Category "IV" survey certification located above the surveyor's seal on this drawing.
3. The date that fieldwork was performed for this survey were: 02-22-22.
4. The datum(s) for the TDOT CORS Station that was used: HORIZ: NAD83(2011) EPOCH 2010
5. Fixed Control Station designation with positional data:
TDOT CORS STATION-TN38
STATE PLANE (TN 4100-US SURVEY FT.- NORTHING: 569,154.86 EASTING: 1,837,086.15 ELEVATION: 558.34 FT.
6. Geoid model used- GEOID03
7. Combined grid factors for TDOT CORS Station TN38:
0.99992680 (STATE PLANE-TN 4100-US SURVEY FT.)



LEGEND FOR MONUMENTS

- IPF ○ IRON PIN SET
- IRON PIN FND.
- RAILROAD SPIKE
- ✱ FENCE
- SURVEY POINT
- ▲ NAIL
- CONC. MARKER FND.

OWNER ACCESSORY LOT: CC MANCHESTER FARM, LP
OWNER ADDRESS: 601 S. TRYON STREET, STE. 800 CHARLOTTE, NC 28202

OWNER LOT 1: CC MANCHESTER FARM, LP
OWNER ADDRESS: 601 S. TRYON STREET, STE. 800 CHARLOTTE, NC 28202

PROPERTY ADDRESS: 3150 MANCHESTER PIKE MURFREESBORO, TN 37127

TAX MAP: 126 PARCEL: 13.00
RECORD BOOK: 2258, PAGE: 2655
FLOOD MAP PATED: 47149C0290J
FLOOD MAP DATED: MAY 9, 2023
ZONE: AE & X

THIS PROPERTY IS SUBJECT TO ALL EASEMENTS AND/OR RESTRICTIONS, EITHER RECORDED OR BY PRESCRIPTION, THAT A COMPLETE TITLE SEARCH MAY REVEAL.



FINAL PLAT
MANCHESTER FARMS SUBDIVISION
18th Civil District of Rutherford County, Tennessee
Date: OCTOBER, 2025 Scale: 1"=100' Sheet 1 of 1

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
NOVEMBER 19, 2025
PROJECT PLANNER: RICHARD DONOVAN**

- 7.b. Chick-fil-A #5984 [2025-3104] site plan for a 5,183 ft² restaurant on 2.45 acres zoned PCD (Marketplace at Savannah Ridge PCD) located along South Church Street and Joe B Jackson Parkway, Brent Edmiston on behalf of Chick-fil-A developer.



Site Summary

This is a site plan review for a Chick-fil-A, located on the northeast corner of South Church Street and Joe B. Jackson Parkway intersection. The proposed development includes a single-story, 5,183-square-foot restaurant with associated parking, infrastructure, and landscaping, all designed to meet the development standards of the Marketplace at Savannah Ridge PCD. Primary parking areas will be situated on the east side of the building along Joe B Jackson Parkway. The plan utilizes cross access easements from adjoining properties to access both South Church Street and Joe B. Jackson Parkway.

Following staff’s review, the plans appear to meet the minimum requirements of the zoning ordinance and PCD standards; however, they do not fully comply with certain provisions of the design guidelines. The applicant has demonstrated compliance with parking, landscaping, and lighting standards, but not with the architectural standards, as detailed in the review comments. A few elements related to building orientation and architectural design warrant further discussion by the Planning Commission. If the Commission determines that the proposed building materials and architectural design are consistent with the intent of the design guidelines, staff recommends approval of the plans, subject to all staff comments and continued collaboration between the development team and City staff.

Access and Parking

The site depicts no new accesses to S. Church Street or Joe B Jackson Parkway. The site will use access easements within Marketplace at Savanha Ridge to access both streets. The shared access with Aldi will provide access to Joe B. Jackson Parkway and a right in right out as well as a full access will provide access to S. Church Street.

Chart 4 of the Zoning Ordinance for “restaurant, carry out” use requires 1 space for each 100 square feet of floor area or 1 space for every 2 seats provided, whichever is greater, plus 10 queue spaces. The applicant has indicated that restaurant will seat 106 people in the 5,183 square feet requiring 53 parking spaces based on the seating capacity. Below is a table showing the total parking space calculation provided for the site.

Parking		
	Required	Proposed
Standard Parking	53	61
ADA Spaces	3	4
Total	56	65

Landscaping

As shown on the landscape plan, a variety of trees and shrubs have been thoughtfully incorporated throughout the site to complement the building’s architecture and provide effective screening where needed. Additional landscaping within the required planting yards enhances both the visual appeal and functionality of the site. The dumpster enclosure and electrical transformers are appropriately screened with a combination of trees and shrubs to minimize visual impact. Existing landscaping along South Church Street and Joe B. Jackson Parkway, including mature trees and shrubs, will remain in place and continue to contribute to the site’s overall character.

Building and Architecture

The architectural standards outlined in the Design Guidelines require that buildings incorporate consistent design elements such as façade treatment, materials, color, and roof design.

The proposed building is a single-story structure featuring all four side façades of primarily made of brick veneers, composite woodlook panel, and metal coping along the top parapet. The base is defined by dark grey brick veneer, transitioning to cream color brick veneer above three feet to create the body of the building. The east façade of the building, functional entrance, and west façade, rear of building with "entrance treatment" use a composite woodlook panel to create towers with entry doors or faux entry doors. The cap of the building, cornice, is created with a dark grey soldier course of brick veneer with midnight bronze metal coping. Midnight bronze metal awnings are provided above the functional entrance(east) and "entrance treatment"(west) as well as above the remaining entries and all the windows.

The Planning Commission will need to further discuss whether the "entrance treatment" on the west façade meets the guidelines. The zoning ordinance and design guidelines provide the following criteria for building entrances and massing along public streets:

- Orient the primary façade to face the public thoroughfare.
- Direct the physical entrance toward the public thoroughfare. If the entrance is oriented differently, appropriate architectural treatment must be applied to the public-facing side.
- The front of a structure shall be that elevation of the structure containing the formal or main entryway or containing such other architectural elements as would lead a reasonable person to perceive it as the front of the structure.

The architecture also includes two canopies, one at the ordering location and another at the pickup location, matching the color of the building canopies and columns wrapped to match the primary building. Additionally, the northwest corner of the building includes an outdoor seating area with dark bronze aluminum fence to provide separation from the drive through lanes.

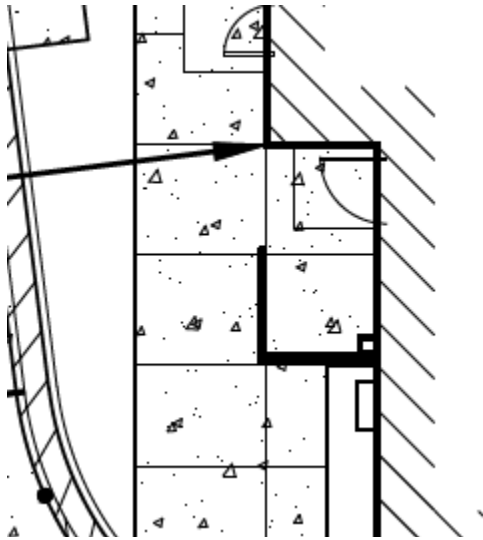
The initial plan set proposed a dumpster enclosure, that incorporates dark gray colored brick and metal coping, which is consistent with the building materials. It appears that these elevations have been omitted from the resubmittal package.

Staff Comments

Development Services – Planning

Richard Donovan, 615.893.6441, rdonovan@murfreesborotn.gov

1. Your survey references an outdated plat book and page and show parcel lines that no longer exist. The correct reference and information is on PB50 PG250.
2. Lot will need to be replatted prior to building permit. Any lots affected must meet individual parking requirements.
3. Provide a photometric plan including a lighting schedule with heights, light color, and cut sheets for fixtures.
4. Provide elevations of dumpster enclosure.
5. Except as may otherwise be provided in this article, no principal structure shall be constructed or placed upon any lot unless the front of such structure is oriented to face the front lot line. Upon corner lots, the structure shall be oriented with the front facing toward the street with the higher functional classification as determined by the Major Thoroughfare Plan and any amendments thereto. The front of a structure shall be that elevation of the structure containing the formal or main entryway or containing such other architectural elements as would lead a reasonable person to perceive it as the front of the structure.
 - a. Orient the primary façade to face the public thoroughfare.
 - b. Direct the physical entrance toward the public thoroughfare. If the entrance is oriented differently, appropriate architectural treatment must be applied to the public-facing side.
6. Service areas, loading docks and storage areas shall be incorporated into the building design and oriented so that they are screened from adjacent right-of-ways by use of vegetation, earth berms, masonry walls or a combination of such. The rear of buildings shall not face onto any street unless the rear of the building is screened with a minimum of a type C buffer as described in Section 27 of this article. Mechanical, utilities, or other building elements that must be roof mounted shall be located and screened so that are not visible from any point six feet above ground level or from any public right-of-way.
7. This storage area is not permitted on a street side façade. It was originally included on the façade and has been remove but is still present on the site plan.



8. Add the following notes to the elevations:
 - a. Rooftop HVAC and mechanical units must be screened from public view.
 - b. Dumpster screening must extend 1 foot above dumpster.

Development Services – Engineering

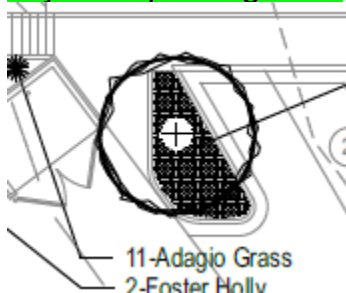
Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

1. Provide truck turn simulations for both fire and solid waste.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. Reside the site and landscape plans to originate and terminate each row of parking with a landscape island and canopy tree.
2. Revise the landscape island to provide green space equivalent to the adjacent parking stall.



3. Provide a landscape irrigation system design. *This comment has not been addressed.*

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No Comments.

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

1. No Comments.

Consolidated Utility District

Will Steele, 615.225.3313, wsteele@ cudrc.com

1. CUD review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until CUD has issued its formal approval. The plans shall comply with all applicable CUD standards.

MTE – Middle Tennessee Electric

Ben Martin, 615.494.0428, murfreesborocity.engineering@ mtemc.com

1. MTE review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until MTE has issued its formal approval. The plans shall comply with all applicable MTE standards.

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1. No Comments.

Murfreesboro Water Resources Department

Anita Heck, 615-848-3200, aheck@murfreesborotn.gov

1. MWRD review of this plan is separate from and running concurrently with the Planning Department's review. The plans may not be submitted for the prior-to-permit site plan review process until MWRD has issued its formal approval. The plans shall comply with all applicable MWRD standards.

Informational and Procedural Comments

Development Services – Planning

Richard Donovan, 615.893.6441, rdonovan@murfreesborotn.gov

1. This site plan is not affected by the City's Major Transportation Plan.
2. The design engineer needs to coordinate all proposed sidewalk locations with utility providers. Elimination of conflicts is the responsibility of the developer.
3. As a note to the developer, an unkempt site will not be permitted, and if debris is stored in areas outside of the designated storage area, staff will shut down the jobsite.
4. In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case or new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of

Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

1. A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Engineering Department and must be approved by the city engineer.
2. Prior to a land disturbance permit, provide a stormwater pollution prevention plan (SWPPP) to be reviewed and approved by the City Engineer prior to any permit. Include provisions for erosion and sediment control with details in general compliance with the TDEC Erosion and Sediment Control Handbook Fourth Edition.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No Comments.

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No Comments.

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

1. The Planning Commission does not approve signage. Any signage that is shown on exterior building elevations, renderings, or site plans are not approved when those plans are reviewed as a function of the site plan and plat review processes.
2. Sign permits and reviews are a separate approval process, please reach out to Sign Administrator, Teresa Stevens at tstevens@murfreesborotn.gov for additional information.
3. Sign reviews can include temporary signs, attached signs, and ground signs. Strip lighting that is placed under an eave and outline lighting placed on the exterior of a building or canopy may be considered signs and require a separate review as well.
4. For proposed flagpole(s), the flagpole(s) shall be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for the flagpole(s) are established in the Sign Ordinance.
5. Any ground sign or freestanding wall sign (monument sign) to be located within a public utility or drainage easement shall have a completed and recorded City of Murfreesboro revocable license agreement with easement

holders.

6. Any site and building signage installed prior to issuance of Certificate of Occupancy must have a sign permit issued. Any signs installed without a sign permit will delay your Certificate of Occupancy.
7. Proposed site signage to be installed shall be shown on utility and site plans. Proposed building signage shall be shown on elevation drawings.

Consolidated Utility District

Will Steele, 615.225.3313, wsteele@ cudrc.com

1. No Comments.

MTE – Middle Tennessee Electric Membership Corporation

Ben Martin, 615.494.0428, murfreesborocity.engineering@ mtemc.com

1. No Comments.

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@ mufreesborotn.gov

1. Show hydrant.

Murfreesboro Water Resources Department

Anita Heck, 615-848-3200, aheck@ mufreesborotn.gov

1. No Comments.

NOTE: FOR CONCRETE PAVEMENT CONSTRUCTION - SEE JOINTING DETAILS 9, 10, 11, & 12 ON SHEET C-402

SITE PLAN DESIGN NOTES & KEY PLAN

- 1A DIRECTIONAL ARROW DETAIL 1A/C-400
- 1B PAINTED ACCESSIBILITY PARKING SYMBOL DETAIL 1B/C-400
- 2A DRIVE-THRU GRAPHIC DETAIL 2A/C-400
- 2B STOP BAR GRAPHIC DETAIL 2B/C-400
- 3 CROSSWALK MARKING DETAIL 3/C-400
- 4 MULTI-LANE DIRECTIONAL GRAPHICS DETAIL 4/C-400
- 5 STANDARD OR ACCESSIBLE PARKING STALL PER CODE DETAIL 5/C-400
- 5A 4" SOLID WHITE STRIPING
- 5B 4" SOLID YELLOW STRIPING
- 5C 4" SKIP DASH YELLOW STRIPING
- 6 SOLID PLASTIC WHEEL STOP DETAIL 6/C-400
- 7 BOLLARD MOUNTED SIGN DETAIL 7/C-400
- 8 CURB RAMP W/ SHORT FLARED SIDES (GRASSED AREAS) DETAIL 8/C-400
- 9 CURB RAMP W/ FLARED SIDES (IN SIDEWALK) DETAIL 9/C-400
- 10 RETURNED CURB ACCESSIBLE RAMP DETAIL 10/C-400
- 11 SIDEWALK ACCESSIBLE RAMP DETAIL 11/C-401
- 12 DETECTABLE WARNING DEVICE DETAIL 12/C-401
- 13 TYPICAL ADA RAMP & HANDRAIL DETAIL 13/C-401
- 14 CONCRETE SIDEWALK DETAIL 4/C-401
- 15 CONCRETE SIDEWALK W/ CURB & GUTTER DETAIL 5/C-401

- 16 ENTRY DOOR FROST SLAB DETAIL
- 17 CONCRETE BOLLARD
- 18 CONCRETE CURB & GUTTER
- 18A SPILLING CURB & GUTTER
- 18B CATCHING CURB & GUTTER
- 18C DEPRESSED SPILLING CURB & GUTTER
- 18D DEPRESSED CATCHING CURB & GUTTER
- 18E SPILLING GUTTER SECTION AT ACCESSIBLE RAMP
- 18F CATCHING GUTTER SECTION AT ACCESSIBLE RAMP
- 18G MOUNTABLE CURB & GUTTER
- 19 LANDSCAPE & IRRIGATION PROTECTOR DETAIL 9/C-401
- 20 TYPICAL HMAC PAVEMENT SECTION DETAIL 1/C-402
- 21 BUTT JOINT DETAIL 2/C-402
- 22 CONCRETE PAVEMENT DRIVE-THRU LANE DETAIL 3/C-402
- 23 CONCRETE APRON AT TRASH ENCLOSURE DETAIL 4/C-402
- 24 PAVEMENT EDGE DETAIL (START AND END OF DRIVE-THRU LANES) DETAIL 5/C-402
- 25 CONCRETE PAVEMENT SECTIONS DETAIL 6/C-402
- 26 TRANSVERSE & LONGITUDINAL CONTRACTION JOINT DETAIL 7/C-402
- 27 TRANSVERSE & LONGITUDINAL DOWELED CONSTRUCTION JOINT DETAIL 8/C-402
- 28 CONTRACTION JOINT DETAIL 9/C-402
- 29 KEYED CONSTRUCTION JOINT DETAIL 10/C-402
- 30 LONGITUDINAL BUTT JOINT DETAIL 11/C-402
- 31 EXPANSION JOINT DETAIL 12/C-402

- 32 DRIVE-THRU PLAN - FLUSH WITH FFE
- 33 DRIVE-THRU ISOMETRIC
- 34 DRIVE-THRU ORDER POINT ISLAND
- 35 MENU BOARD LOOP DETECTION SYSTEM
- 36 BUILDING DOWNSPOUT CONNECTION (TO SITE DRAINAGE SYSTEM)
- 37 CANOPY DOWNSPOUT CONNECTION (TO SITE DRAINAGE SYSTEM)
- 38 SCREENED REFUSE ENCLOSURE (REFER TO ARCH PLANS FOR ADDITIONAL DETAILS)
- 39 CLEAN-OUT (OUTSIDE OF BUILDING)
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- 44 PAVEMENT STRIPING AREA DETAIL 3/C-404
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- 47 CONCRETE FLUME DETAIL 6/C-404
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- 52 LANDSCAPED AREA
- 53 4" THICK CONCRETE STRIP BETWEEN BUILDING & BACK OF CURB
- 54 4" THICK CONCRETE STRIP BETWEEN CURBS

- DETAIL 1/C-403
- DETAIL 2/C-403
- DETAIL 3/C-403
- DETAIL 4/C-403
- DETAIL 5/C-403
- DETAIL 6/C-403
- DETAIL 7/C-403
- DETAIL 8/C-403
- DETAIL 9/C-403
- DETAIL 10/C-403
- DETAIL 2/C-404
- DETAIL 3/C-404
- DETAIL 4/C-404
- DETAIL 5/C-404
- DETAIL 6/C-404
- DETAIL 9/C-404

- 55 TYPICAL LOCATION FOR OUTDOOR TABLES (REFER TO ARCH PLANS)
- 56 CONCRETE PAD FOR OPTIONAL CASH STATION
- 57 FREE-STANDING ORDER POINT CANOPY
- 58 FREE-STANDING OUTSIDE MEAL DELIVERY CANOPY
- 59 YELLOW DELINEATOR POST - MAGNETIC BASE DETAIL 9/C-404
- 60 MOVEABLE YELLOW DELINEATOR POST - RUBBER BASE
- 61 OMIT-BLOCKS AT REAR OF DUMPSTER ENCLOSURE - SEE DETAIL SHEET C-403

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.

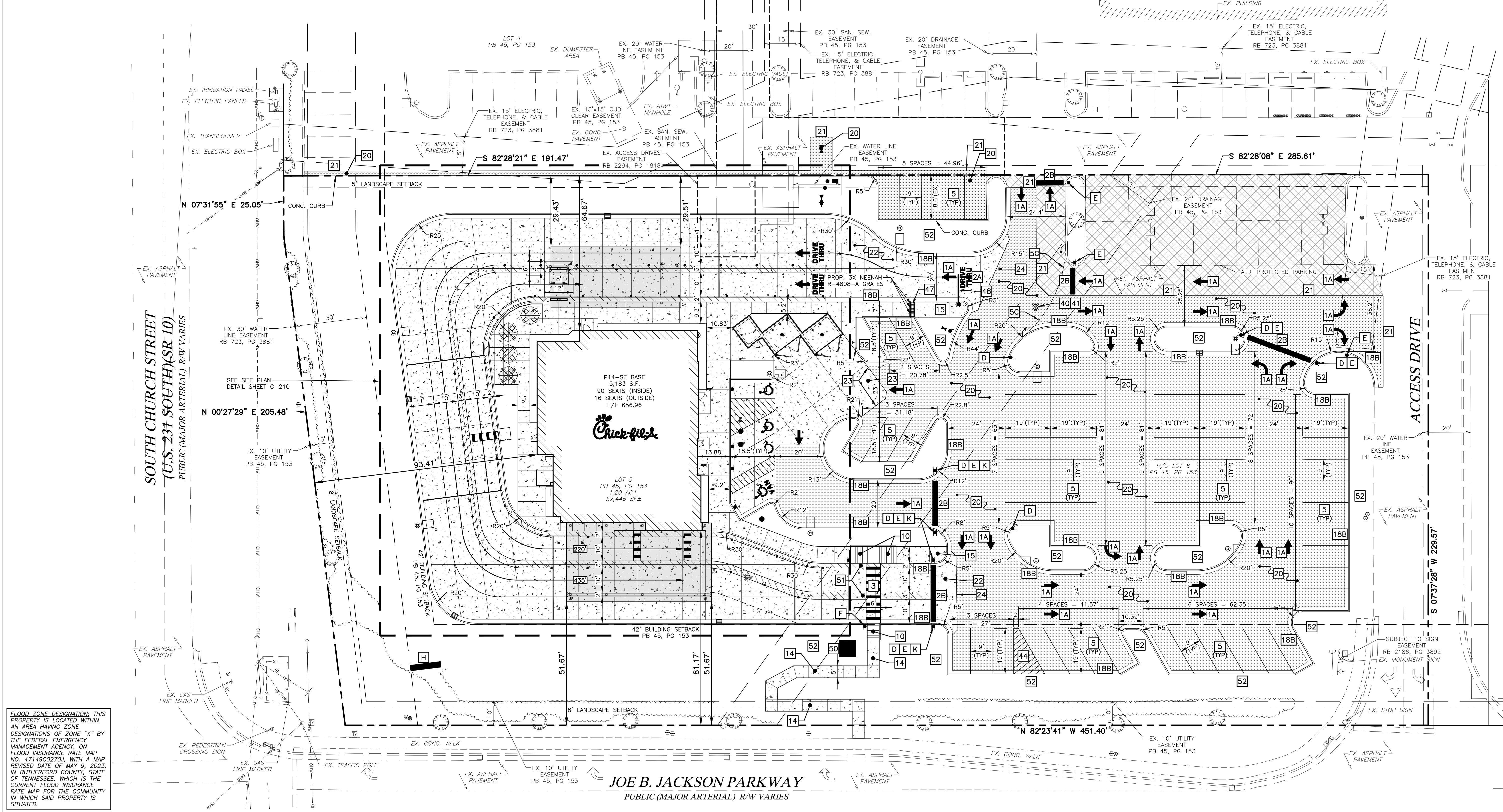
SIGN LEGEND

- A ACCESSIBLE PARKING SIGN (SEE SIGNAGE PACKAGE) R7-8; 12"x18" (TYP.)
- B ACCESSIBLE PARKING FINE SIGN (SEE SIGNAGE PACKAGE) 6"x12" (TYP.)
- C "VAN ACCESSIBLE" SIGN (SEE SIGNAGE PACKAGE) R7-8P; 6"x12" (TYP.)
- D "DO NOT ENTER" SIGN (SEE SIGNAGE PACKAGE) R1-1; 24"x24" (TYP.)
- E STOP SIGN (SEE SIGNAGE PACKAGE) R1-1; 30"x30" (TYP.)
- F CFA PEDESTRIAN CROSSING SIGN (SEE SIGNAGE PACKAGE)
- G FLAG POLE (SEE SIGNAGE PACKAGE)
- H CFA MONUMENT OR PYLON SIGN
- J DIGITAL DRIVE-THRU MENU BOARDS
- K "NO LEFT TURN" SIGN (SEE SIGNAGE PACKAGE)

LEGEND

- PROP. FIRE HYDRANT
- EX. FIRE HYDRANT
- PROP. VALVE
- EX. VALVE
- PROP. MANHOLE
- EX. MANHOLE
- PROP. INLET
- EX. BOX INLET
- EX. LIGHT POLE
- PROP. LIGHT POLE
- PROP. ACCESSIBLE RAMP - RAMP IS NOT TO BE SCORED OR GROOVED
- EX. CURB
- PROP. CURB & GUTTER
- PROP. ASPHALT PAVEMENT
- PROP. CONCRETE PAVEMENT/WALK
- AREA OF ASPHALT SEALCOAT. PAVEMENT STRIPING TO BE REPLACED IN KIND.

SCALE: 1" = 20'



FLOOD ZONE DESIGNATION: THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 471490220L, WITH A MAP REVISED DATE OF MAY 9, 2023, IN RUTHERFORD COUNTY, STATE OF TENNESSEE, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998

GBC DESIGN, INC.
 565 White Pond Dr.
 Akron, OH 44320-1123
 Phone 330-836-0228
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CHICK-FIL-A
JOE B. JACKSON PKWY FSU
 JOE B. JACKSON PARKWAY
 MURFREESBORO, TN 37127

FSU# 05984

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	10/1/2025	CITY COMMENTS

GBC PROJECT # 57110A
 PRINTED FOR Permit
 DATE 8/28/25
 DRAWN BY BAW

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SHEET **SITE PLAN**

Permit SHEET NUMBER **C-200**

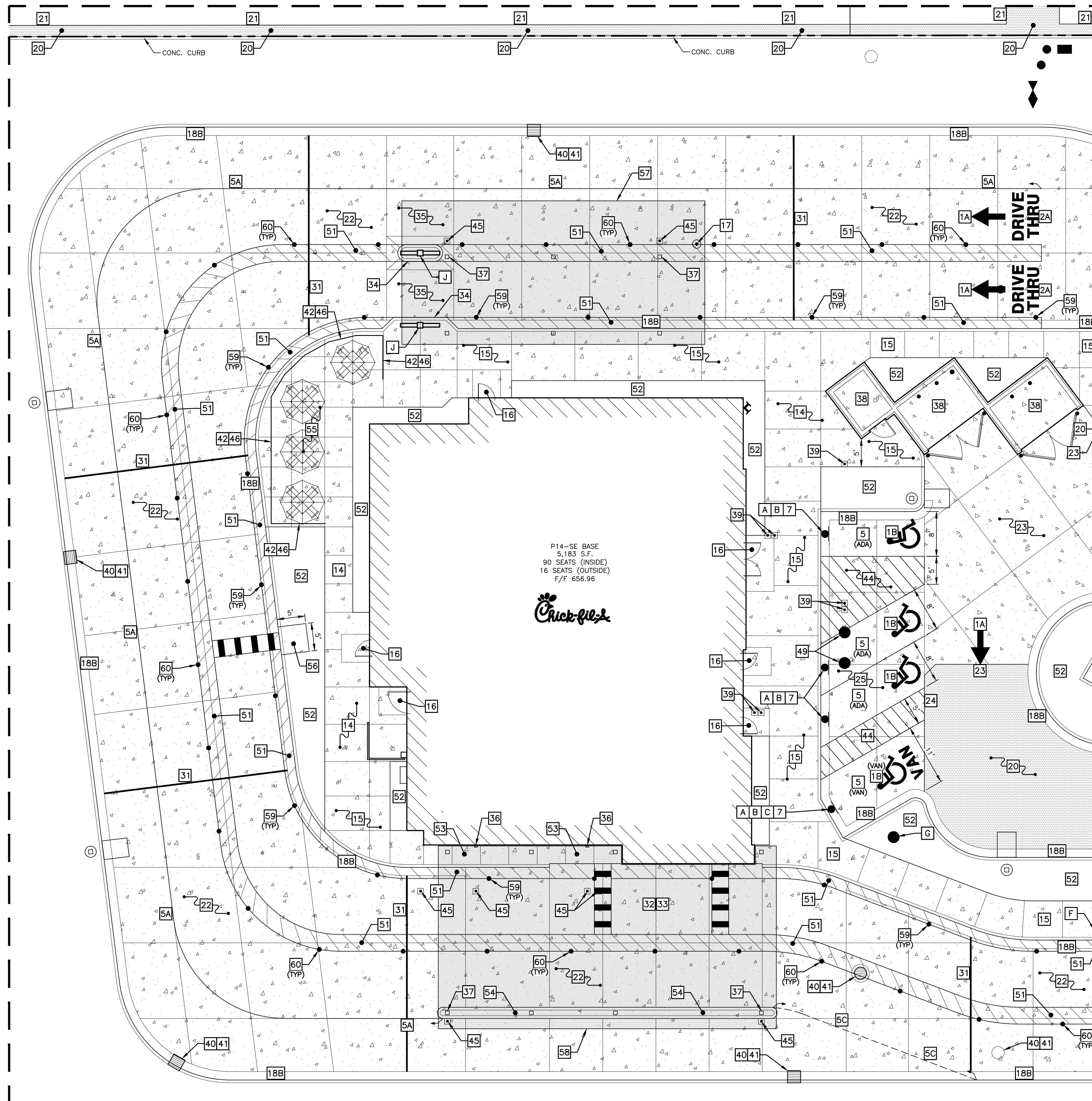
NOTE: FOR CONCRETE PAVEMENT CONSTRUCTION - SEE JOINTING DETAILS 9, 10, 11, & 12 ON SHEET C-402

SITE PLAN DESIGN NOTES & KEY PLAN

- 1A DIRECTIONAL ARROW DETAIL 1A/C-400
- 1B PAINTED ACCESSIBILITY PARKING SYMBOL DETAIL 1B/C-400
- 2A DRIVE-THRU GRAPHIC DETAIL 2A/C-400
- 2B STOP BAR GRAPHIC DETAIL 2B/C-400
- 3 CROSSWALK MARKING DETAIL 3/C-400
- 4 MULTI-LANE DIRECTIONAL GRAPHICS DETAIL 4/C-400
- 5 STANDARD OR ACCESSIBLE PARKING STALL PER CODE DETAIL 5/C-400
- 5A 4" SOLID WHITE STRIPING
- 5B 4" SOLID YELLOW STRIPING
- 5C 4" SKIP DASH YELLOW STRIPING
- 6 SOLID PLASTIC WHEEL STOP DETAIL 6/C-400
- 7 BOLLARD MOUNTED SIGN DETAIL 7/C-400
- 8 CURB RAMP W/ SHORT FLARED SIDES (GRASSED AREAS) DETAIL 8/C-400
- 9 CURB RAMP W/ FLARED SIDES (IN SIDEWALK) DETAIL 9/C-400
- 10 RETURNED CURB ACCESSIBLE RAMP DETAIL 10/C-400
- 11 SIDEWALK ACCESSIBLE RAMP DETAIL 11/C-401
- 12 DETECTABLE WARNING DEVICE DETAIL 2/C-401
- 13 TYPICAL ADA RAMP & HANDRAIL DETAIL 3/C-401
- 14 CONCRETE SIDEWALK DETAIL 4/C-401
- 15 CONCRETE SIDEWALK W/ CURB & GUTTER DETAIL 5/C-401
- 16 ENTRY DOOR FROST SLAB DETAIL DETAIL 6/C-401
- 17 CONCRETE BOLLARD DETAIL 7/C-401
- 18 CONCRETE CURB & GUTTER DETAIL 8/C-401
- 18A SPILLING CURB & GUTTER
- 18B CATCHING CURB & GUTTER
- 18C DEPRESSED SPILLING CURB & GUTTER
- 18D DEPRESSED CATCHING CURB & GUTTER
- 18E SPILLING GUTTER SECTION AT ACCESSIBLE RAMP
- 18F CATCHING GUTTER SECTION AT ACCESSIBLE RAMP
- 18G MOUNTABLE CURB & GUTTER
- 19 LANDSCAPE & IRRIGATION PROTECTOR DETAIL 9/C-401
- 20 TYPICAL HMA PAVEMENT SECTION DETAIL 1/C-402
- 21 BUTT JOINT DETAIL 2/C-402
- 22 CONCRETE PAVEMENT DRIVE-THRU LANE DETAIL 3/C-402
- 23 CONCRETE APRON AT TRASH ENCLOSURE DETAIL 4/C-402
- 24 PAVEMENT EDGE DETAIL (START AND END OF DRIVE-THRU LANES) DETAIL 5/C-402
- 25 CONCRETE PAVEMENT SECTIONS DETAIL 6/C-402
- 26 TRANSVERSE & LONGITUDINAL CONTRACTION JOINT DETAIL 7/C-402
- 27 TRANSVERSE & LONGITUDINAL DOWELED CONSTRUCTION JOINT DETAIL 8/C-402
- 28 CONTRACTION JOINT DETAIL 9/C-402
- 29 KEYED CONSTRUCTION JOINT DETAIL 10/C-402
- 30 LONGITUDINAL BUTT JOINT DETAIL 11/C-402
- 31 EXPANSION JOINT DETAIL 12/C-402
- 32 DRIVE-THRU PLAN - FLUSH WITH FFE DETAIL 1/C-403
- 33 DRIVE-THRU ISOMETRIC DETAIL 2/C-403
- 34 DRIVE-THRU ORDER POINT ISLAND DETAIL 3/C-403
- 35 MENU BOARD LOOP DETECTION SYSTEM DETAIL 4/C-403
- 36 BUILDING DOWNSPOUT CONNECTION (TO SITE DRAINAGE SYSTEM) DETAIL 5/C-403
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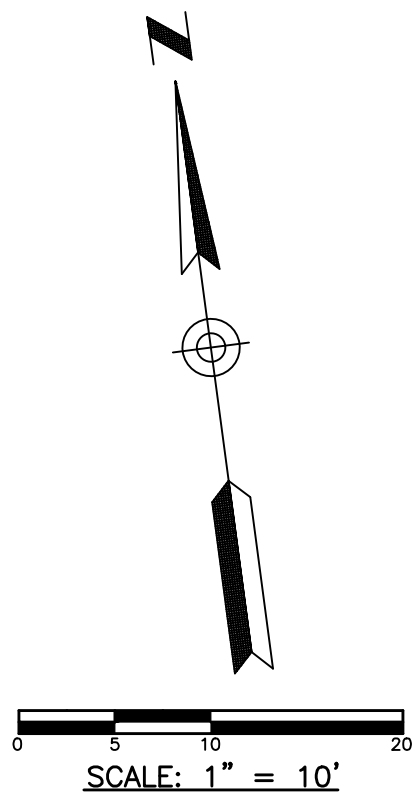
SIGN LEGEND

- ** CONTRACTOR TO REFER TO THE SIGNAGE PACKAGE FOR PLACEMENT AND SPECIFICATIONS OF ALL SIGNS **
- A ACCESSIBLE PARKING SIGN (SEE SIGNAGE PACKAGE) R7-B; 12"x18" (TYP.)
- B ACCESSIBLE PARKING FINE SIGN (SEE SIGNAGE PACKAGE) 6"x12" (TYP.)
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- K "NO LEFT TURN" SIGN (SEE SIGNAGE PACKAGE)



LEGEND

- PROP. FIRE HYDRANT
- △ EX. FIRE HYDRANT
- PROP. VALVE
- EX. VALVE
- PROP. MANHOLE
- EX. MANHOLE
- PROP. INLET
- EX. BOX INLET
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- ▭ EX. CURB
- ▭ PROP. ASPHALT PAVEMENT
- ▭ PROP. CONCRETE PAVEMENT/WALK



PARCEL ID: 125-026.17-000
LEASE PARCEL SIZE: 2.4506 AC.

ZONING INFORMATION:
EXISTING ZONING: PCD (PLANNED COMMERCIAL DEVELOPMENT)
VACANT LAND USE: VACANT LOT
PROPOSED LAND USE: FAST-FOOD RESTAURANT
HEIGHT DISTRICT: N/A

ADJACENT ZONING & LAND USE:
FRONT (W) PCD
FRONT (S) PCD
SIDE (N) PCD
SIDE (E) PCD

ZONING LAND USE:
SHELBYVILLE HWY
JOE B JACKSON PKWY
PARKING LOT
ACCESS DRIVE

REQUIRED SETBACKS:
FRONT (W) 42'
FRONT (S) 42'
SIDE (N) N/A
SIDE (E) N/A

BUILDING DIMENSIONS (SEE SITE LAYOUT PLAN):
SQUARE FOOTAGE AREA (GROSS) 5,183 S.F.
NUMBER OF SEATS 90 INDOOR & 16 OUTDOOR
NUMBER OF STORIES SINGLE/ONE (1)

PARKING SUMMARY: PROPOSED CONDITIONS
REQUIREMENT: 1 SPACE PER 100 S.F. OR 1 SPACE FOR EVERY 2 SEATS, WHICHEVER IS GREATER:
5,183 S.F. / 100 S.F. = 51.83 = 52 SPACES REQUIRED
90 SEATS (INDOORS) + 16 SEATS (OUTDOORS) = 106 SEATS
106 SEATS / 2 = 53 SPACES REQUIRED

PARKING SPACES PROVIDED:
EXISTING SPACES: = 24
REGULAR SPACES: = 66
ACCESSIBLE SPACES: = 4
TOTAL: = 94

EXISTING AREA TABULATION

IMPERVIOUS AREA	
BUILDINGS	= 0 S.F.
ASPHALT PAVEMENT	= 17,220 S.F.
CONCRETE PAVEMENT	= 1,135 S.F.
SUBTOTAL	= 18,355 S.F. (17.19%)
PERVIOUS AREA	
LANDSCAPE/PLANTING	= 88,395 S.F. (82.81%)
TOTAL AREA	= 106,750 S.F. (2.4506 AC.)

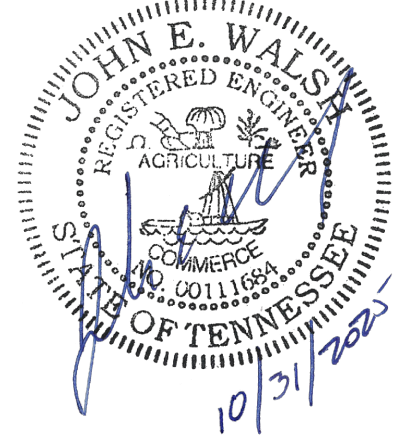
NEW DEVELOPMENT AREA TABULATION

IMPERVIOUS AREA	
BUILDINGS	= 5,183 S.F.
ASPHALT PAVEMENT	= 38,453 S.F.
CONCRETE PAVEMENT	= 30,861 S.F.
SUBTOTAL	= 74,497 S.F. (69.79%)
PERVIOUS AREA	
LANDSCAPE/PLANTING	= 32,253 S.F. (30.21%)
TOTAL AREA	= 106,750 S.F. (2.4506 AC.)



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5200 Buffington Road
Atlanta, Georgia 30349-2998

GBC DESIGN, INC.
565 White Pond Dr.
Akron, OH 44320-1123
Phone 330-856-0228
www.GBCdesign.com



CHICK-FIL-A
JOE B. JACKSON PKWY FSU
JOE B. JACKSON PARKWAY
MURFREESBORO, TN 37127

FSU# 05984

REVISION SCHEDULE	
NO.	DATE
1	10/1/2025
DESCRIPTION	
	CITY COMMENTS

GBC PROJECT #	57110A
PRINTED FOR	Permit
DATE	8/28/25
DRAWN BY	BAW

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SHEET
SITE PLAN
DETAIL

Permit
SHEET NUMBER
C-210

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AND CROSSINGS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT AND CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE BID.

ATLANTIC LANDSCAPE NOTES

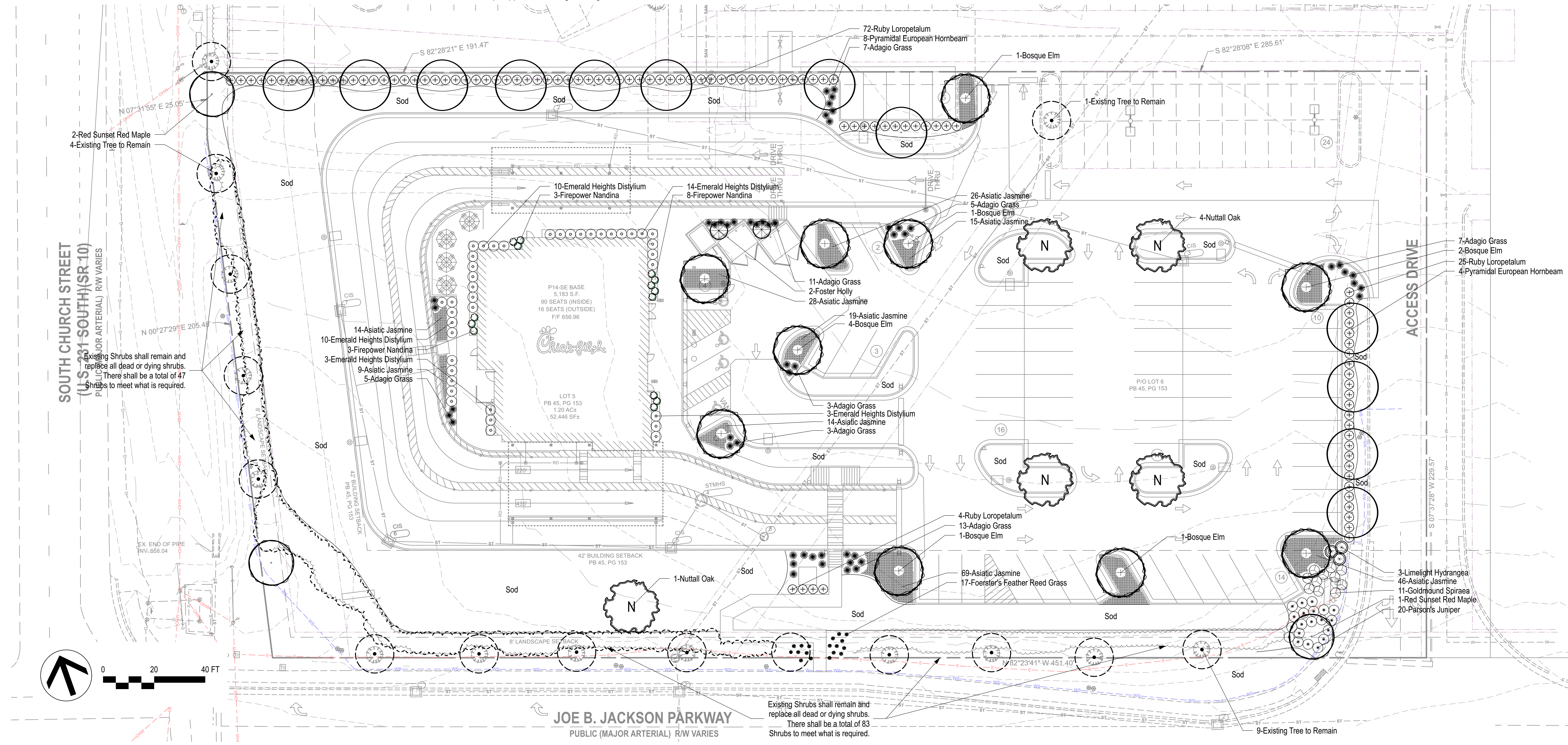
- Landscape Contractor to read and understand the Landscape Specifications prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
- Contractor is responsible for locating and protecting all underground utilities prior to digging.
- Contractor is responsible for protecting existing trees from damage during construction.
- All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
- All tree protection areas to be protected from sedimentation.
- All tree protection fencing to be inspected daily and repaired or replaced as needed.
- No parking, storage or other construction activities are to occur within tree protection areas.
- All planting areas shall be cleaned of construction debris (i.e. concrete, rock, rubble, building materials, etc) prior to adding and spreading of the topsoil.
- General Contractor is responsible for adding a min of 4" clean friable topsoil in all planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
- Remove debris, gravel, rock, and media not suitable for planting from all parking lot islands. Fracture/loosen subgrade to a min. 24" depth and ensure proper drainage is achieved, complete water perk test. Add planting mix to achieve desired soil elevation; refer to landscape specifications and landscape island detail.
- Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
- Any deviations from the approved set of plans are to be approved by the Landscape Architect.
- Landscaping shall be installed in conformance with ANSI Z60.1 the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
- Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
- Soil to be tested to determine fertilizer and lime requirements prior to laying sod.
- Annual and perennial beds: add min. 4 inch layer of organic material and till to a min. depth of 12 inches. Mulch annual and perennial beds with 2-3 inch depth of mini nuggets.
- All shrubs beds (existing and new) to be mulched with a min. 3 inch layer of mulch (mulch type to be: double shredded hardwood mulch).
- Planting holes to be dug a minimum of twice the width of the root ball, for both shrub and tree. Set plant material 2-3" above finish grade. Backfill planting pit with topsoil and native excavated soil.
- Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds are to be "V" trenched, or metal edging shall be installed if rock mulch is used; see Landscape Details.
- Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentations to be repaired.
- Water thoroughly twice in first 24 hours and apply mulch immediately.
- The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
- Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/expectations.
- Site to be 100% irrigated in all planting beds and grass area by an automatic underground Irrigation System. Irrigation as-built shall be provided to the owners rep within 24 hours of irrigation install completion.
- Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
- Remove stakes and guying from all trees after one year from planting.

LANDSCAPE REQUIREMENTS

- A. PERIMETER LANDSCAPE**
- REQUIRED**
- Planting yards are required around the perimeter of the property.
 - 8' wide front, side and rear yards
 - (1) shade tree every 40 LF (excluding vehicular access ways); ornamental trees may be substituted for up to 40% of the required trees
 - North: 311 LF (less 176 LF) / 40 = 8 trees
 - East: 155 LF (less 75 LF) / 40 = 4 trees
 - South: 417 LF (less 34 LF) / 40 = 11 trees
 - West: 231 LF / 40 = 6 trees
 - No one tree species shall comprise more than 60% of a given species
 - 29 required trees x 60% = 17 trees of a single species
 - (1) shrub per 5 LF of planting yard
 - North: 311 LF (less 176 LF) / 5 = 63 shrubs
 - East: 155 LF (less 75 LF) / 5 = 31 shrubs
 - South: 417 LF (less 34 LF) / 5 = 83 shrubs
 - West: 231 LF / 5 = 47 shrubs
- PROVIDED**
- 8' wide planting yard provided along front, side and rear yards.
 - North: 8 trees total (8 Hornbeam)
East: 4 trees total (4 Hornbeam)
South: 11 trees total (9 Existing Trees, 1 Red Maple, 1 Nuttall Oak)
West: 6 trees total (4 Existing Trees, 2 Red Maple)
 - 29 trees proposed (41% of a single species proposed, European Hornbeam)
 - North: 76 shrubs total (69 Loropetalum, 7 Adagio)
East: 46 shrubs total (7 Adagio, 25 Loropetalum, 3 Hydrangea, 11 Sp)
South: 83 shrubs total (83 existing shrubs)
West: 47 shrubs total (47 existing shrubs)
- B. REQUIRED LANDSCAPING WITHIN PARKING LOTS AND AROUND BASE OF BUILDING**
- REQUIRED**
- No more than 12 spaces in a row before a landscape island
 - Min. 8' wide, min. depth equal to the depth of adjacent parking stall
 - Min. 30" of topsoil depth
 - All islands shall be planted with shade trees
 - A min. 3' wide landscape strip planted with shrubs and trees shall be provided along front and sides adjacent to the base of the building.
- PROVIDED**
- All areas have 12 or less parking spaces before an island.
 - All islands meet min. size requirements
 - landscape details depict minimum topsoil depths.
 - All islands are planted with a shade tree
 - Min. 3' wide landscape strip provided surrounding the building.

PLANT SCHEDULE

Symbol	Qty	Botanical Name	Common Name	Scheduled Size	Remarks
Trees					
⊙	3	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	Min. 2.5" Cal.; 12' Hgt.	B & B; single straight leader
⊙	12	Carpinus betulus 'Columnaris'	Pyramidal European Hornbeam	Min. 2.5" Cal.; 12' Hgt.	B & B
⊙	2	Ilex x attenuata 'Foster'	Foster Holly	Min. 9' Hgt.	4' C.T.; tree-form
⊙	5	Quercus nuttallii	Nuttall Oak	Min. 2.5" Cal.; 12' Hgt.	B & B; single straight leader
⊙	10	Ulmus parvifolia 'Bosque'	Bosque Elm	Min. 2.5" Cal.; 12' Hgt.	B & B
Shrubs					
⊙	17	Calamagrostis x acutiflora 'Karl Foerster'	Foerster's Feather Reed Grass	3 Gal.	
⊙	40	Distylium 'Emerald Heights'	Emerald Heights Distylium	Min. 24" Hgt.	
⊙	3	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	Min. 24" Hgt.	
⊙	20	Juniperus squamata expansa 'Parsonii'	Parson's Juniper	Min. 18" Hgt.	
⊙	101	Loropetalum chinense 'Ruby'	Ruby Loropetalum	Min. 18" Hgt.	
⊙	54	Miscanthus sinensis 'Adagio'	Adagio Grass	3 Gal.	
⊙	14	Nandina domestica 'Firepower'	Firepower Nandina	Min. 24" Hgt.	
⊙	11	Spiraea japonica 'Goldmound'	Goldmound Spiraea	Min. 18" Hgt.	
Groundcovers					
⊙	336	Trachelospermum asiaticum	Asiatic Jasmine	1 Gal.	
Other					

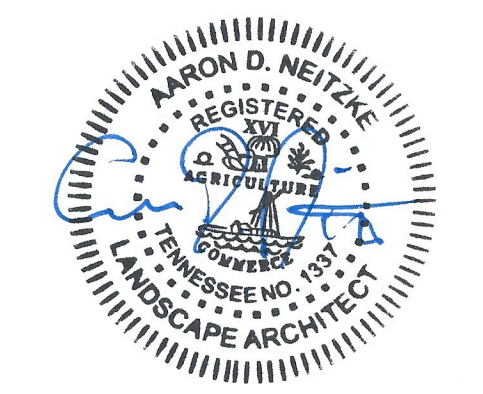


Chick-fil-A
 Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998



MLD STUDIO
 Landscape Architecture

51 old canton street
 alpharetta, ga 30009
 770.442.8171



CHICK-FIL-A
JOE B. JACKSON PKWY FSU
JOE B. JACKSON PARKWAY
MURFREESBORO, TN 37127

FSU# 05984

REVISION SCHEDULE

NO.	DATE	BY	DESCRIPTION
1	8/30/25	MB	new site plan comments
2	10/29/25	MB	shifted trees

MLD PROJECT #	2025098
PRINTED FOR	PERMIT
DATE	8/20/25
DRAWN BY	MB

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SHEET
Landscape Plan

SHEET NUMBER
L-101



OP CANOPY FINISHES

(CP-1) PREFINISHED METAL
COLOR: DARK BRONZE

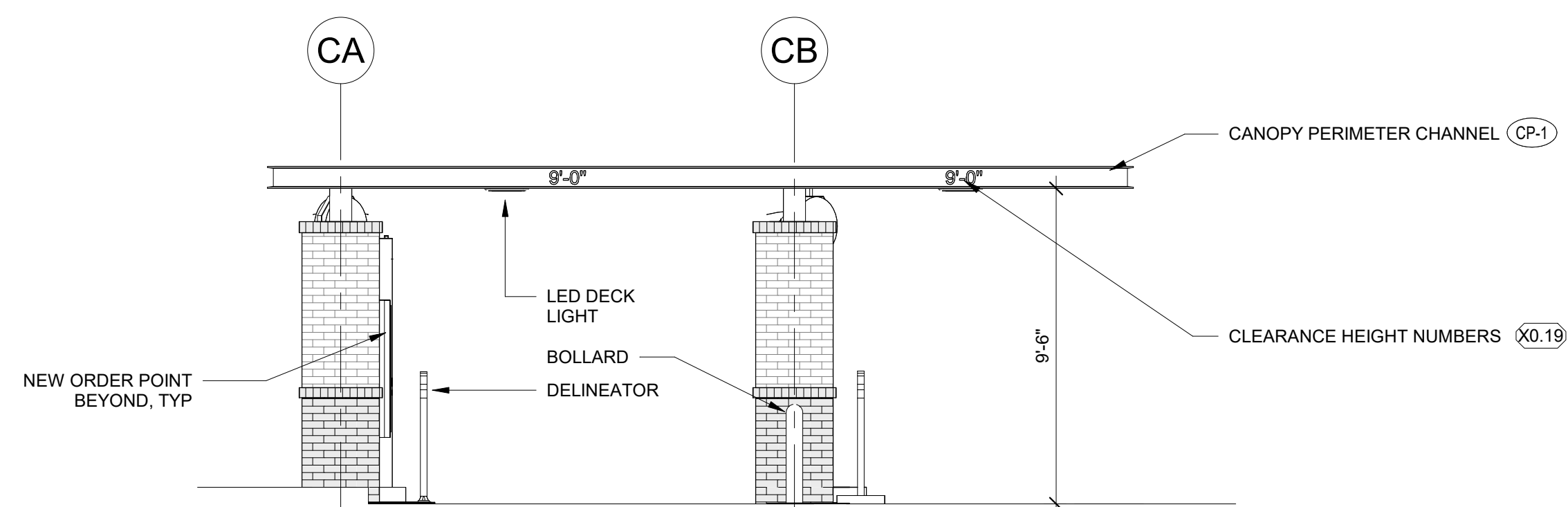
(CP-2) METAL DECKING
COLOR: WHITE

PERSPECTIVE VIEW - ORDER POINT

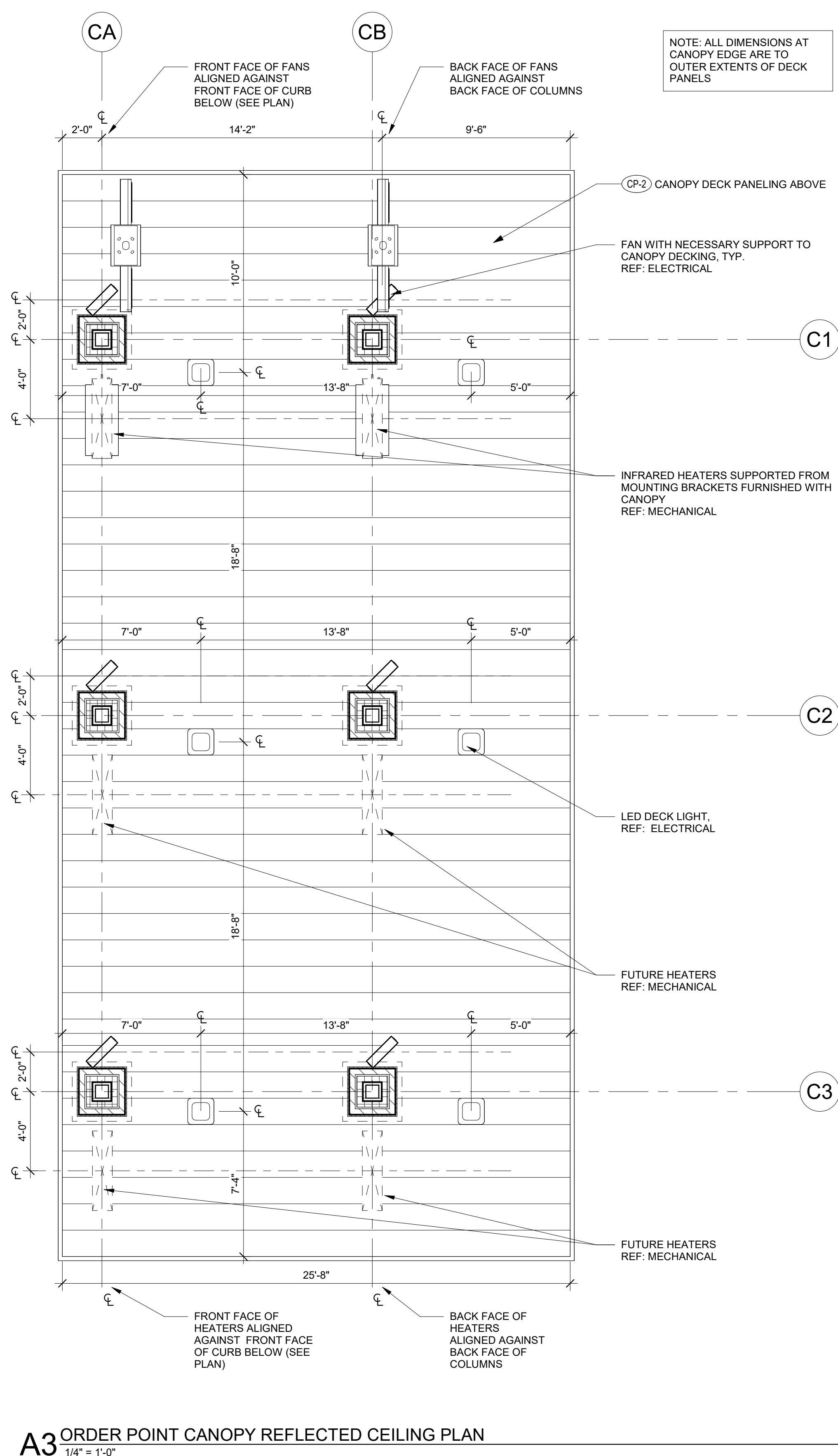
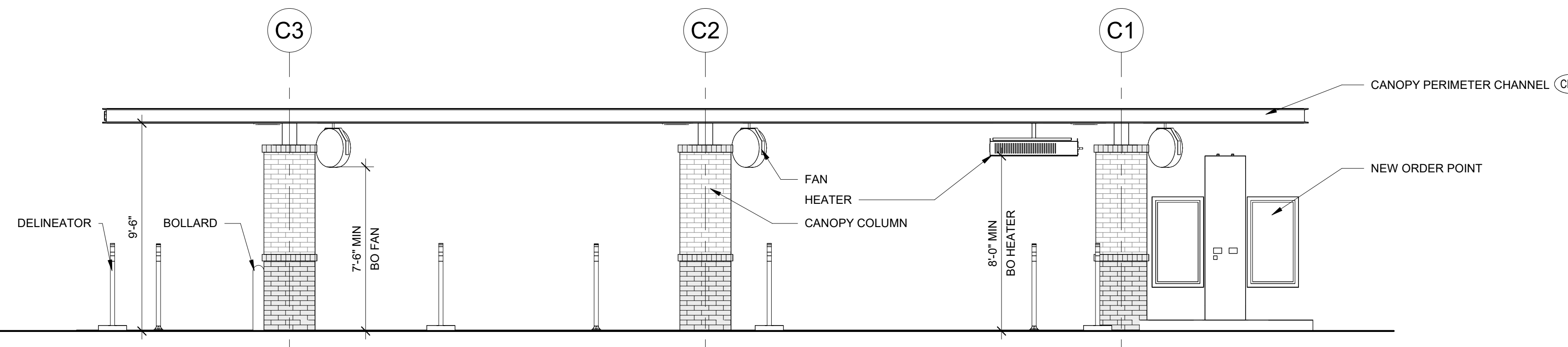
TAG	EQUIPMENT	APPLICABLE TIER			SUPPLIER	CONTACT	MANUFACTURER	MODEL NUMBER	COMMENTS
		1	2	3					
X0.3	BOLLARD SLEEVE	-	X	X	GC	-	INTERSTATE PRODUCTS OR EQUAL	173BYRS - EAGLE 6"	
X0.4	OP DIGITAL MENU BOARD	-	X	X	PATTISON	Helene Hammond (813-247-5379) hhammond@pattisonsign.com	PATTISON	-	
X0.19	CLEARANCE TEXT	-	X	X	LANE OR FASHION	Larry Tolbert (705-545-7615) ltolbert@lanesupplyinc.com OR Jason Holmes (785-242-8111) jholmes@fashioninc.com	LANE OR FASHION	-	
XA	EXIT SIGN WITH BATTERY PACK AND TWO INTEGRAL ADJUSTABLE LAMPHEADS						COOPER/SURE-LITES	APCH7R	Lighting
XD	INVERTER UNIT FOR EXTERIOR EGRESS LITG. ON AT DUSK, OFF AT DAWN, ON DURING PWR OUTAGE						MULE LIGHTING	SPS-220/250-120/27	Lighting

ORDER POINT EQUIPMENT SCHEDULE

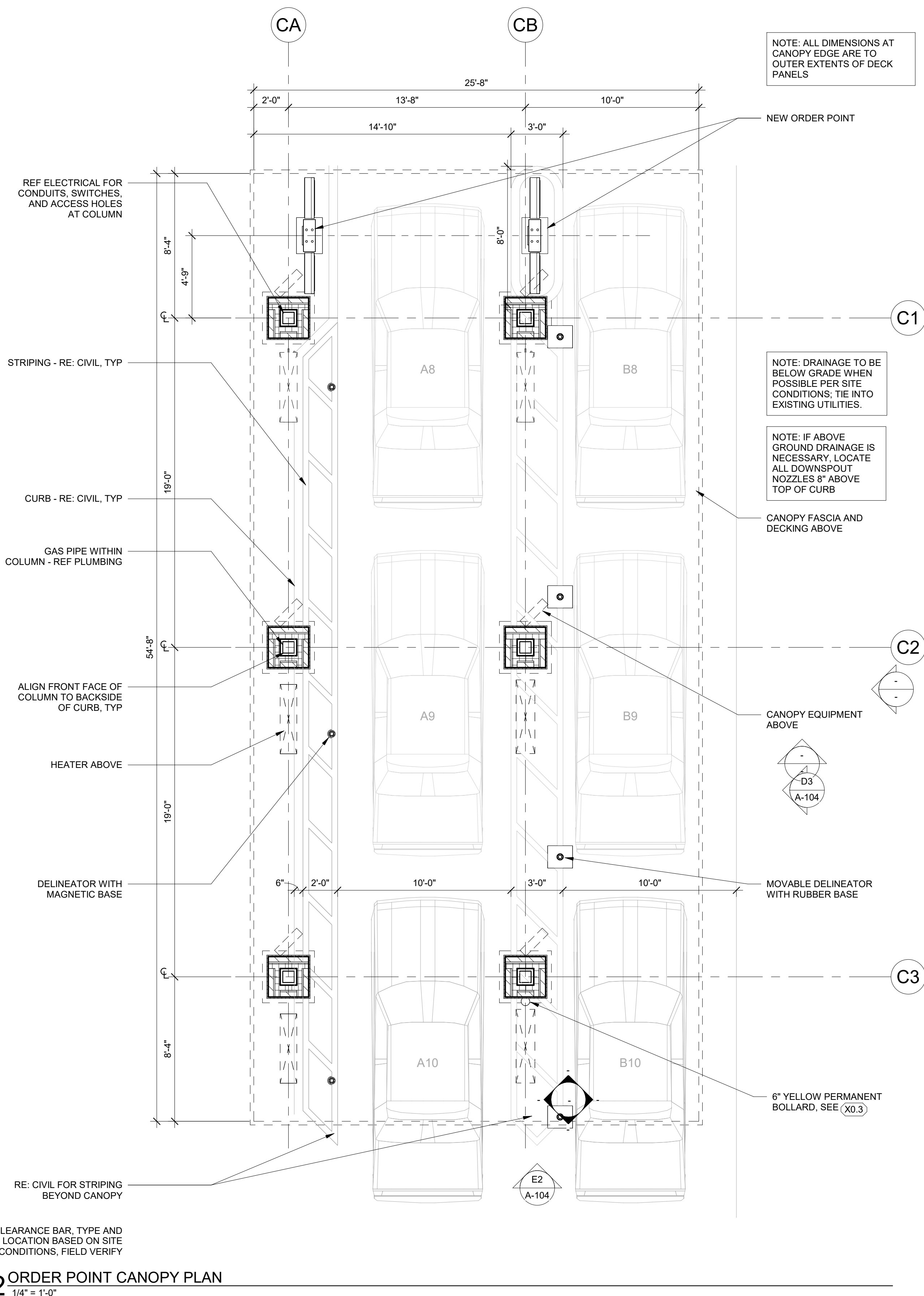
E2 ORDER POINT ENTRY ELEVATION
1/4" = 1'-0"



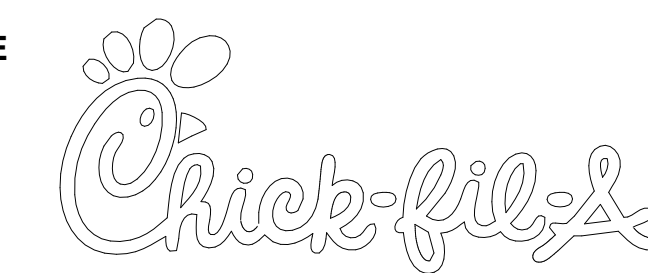
D3 ORDER POINT ELEVATION
1/4" = 1'-0"



A3 ORDER POINT CANOPY REFLECTED CEILING PLAN
1/4" = 1'-0"



A2 ORDER POINT CANOPY PLAN
1/4" = 1'-0"



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998



E+H ARCHITECTS P.C.
750 OLD HICKORY BLVD, SUITE 150-2
BRENTWOOD, TN 37027
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EMAIL: CFATEAM@EANDHARCH.COM



09/02/2025

CHICK-FIL-A
MURFREESBORO FSR
JOE B. JACKSON PKWY
SAVANNAH RIDGE SUB. LOT #5
MURFREESBORO, TN 37127

FSR#05984

BUILDING TYPE / SIZE: P14 SE BASE
RELEASE: 25.06

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REVISION SCHEDULE
NO. DATE DESCRIPTION
09/02/2025 IFP

CONSULTANT PROJECT # CFTN05984

DATE 09/02/2025

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ORDER POINT CANOPY

SHEET NUMBER

A-104



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09/02/2025

CHICK-FIL-A
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PRINTED FOR

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09/02/2025 IFP

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DATE 09/02/2025

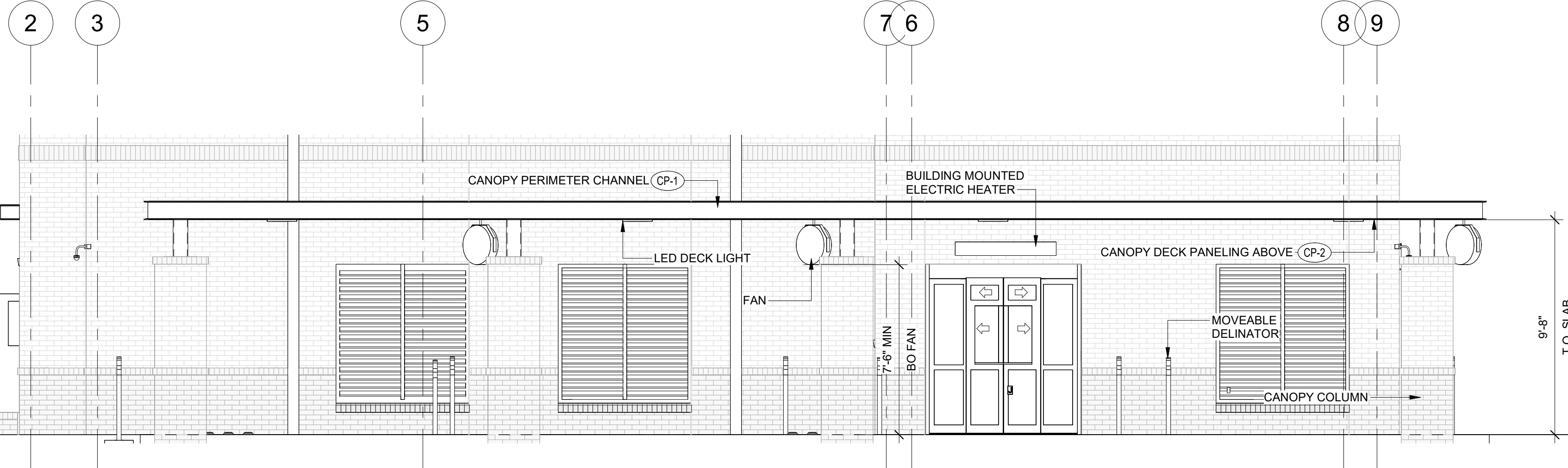
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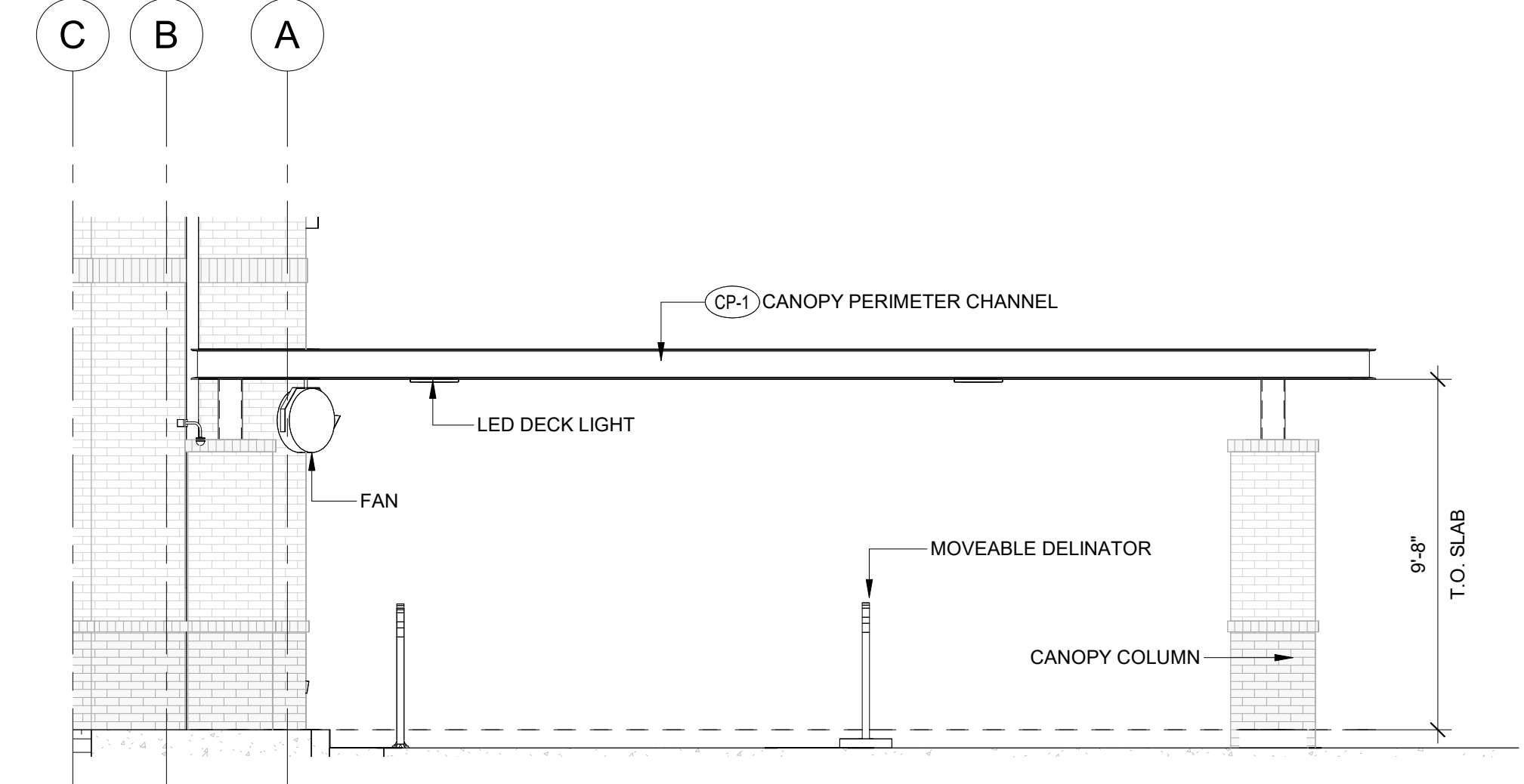
SHEET OUTSIDE MEAL DELIVERY CANOPY

SHEET NUMBER

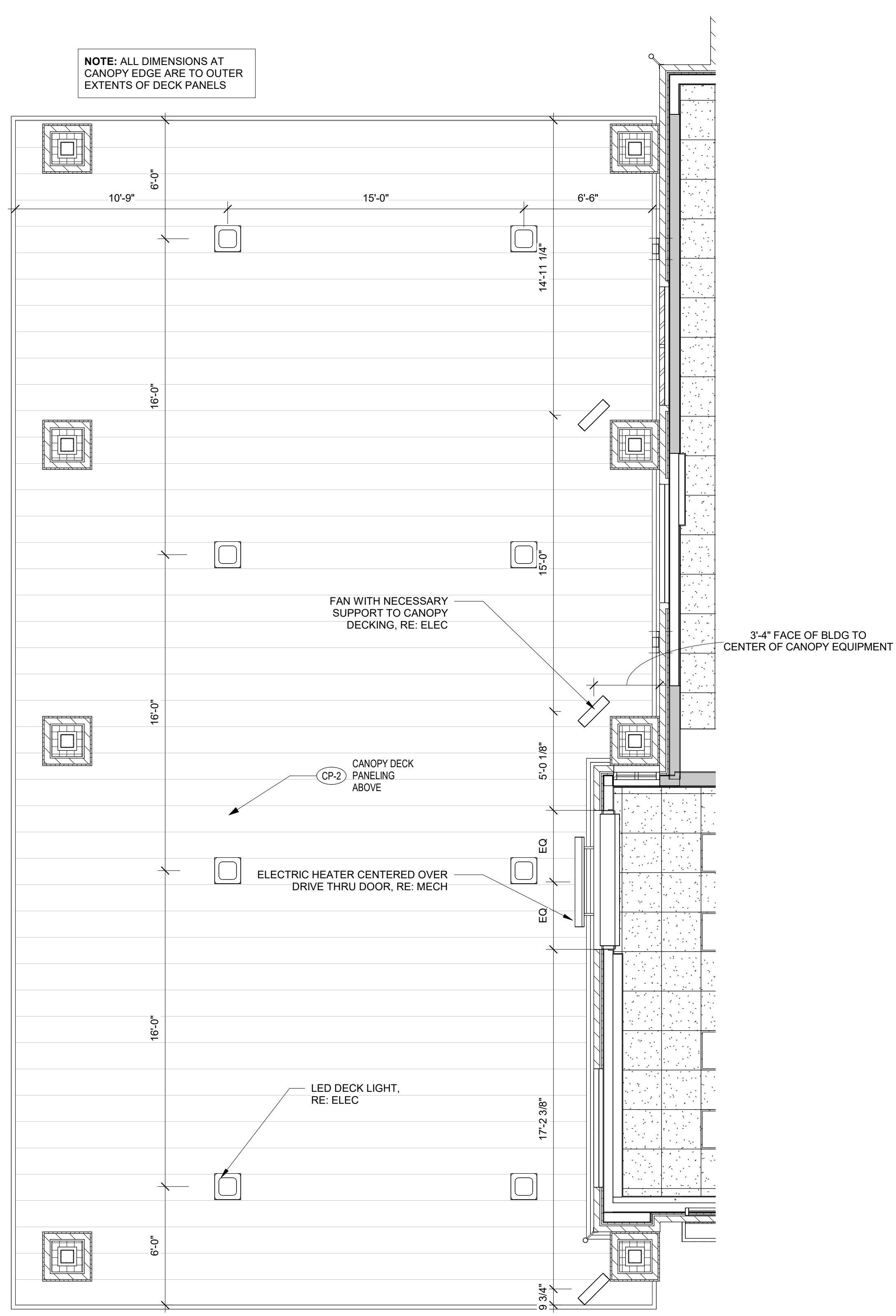
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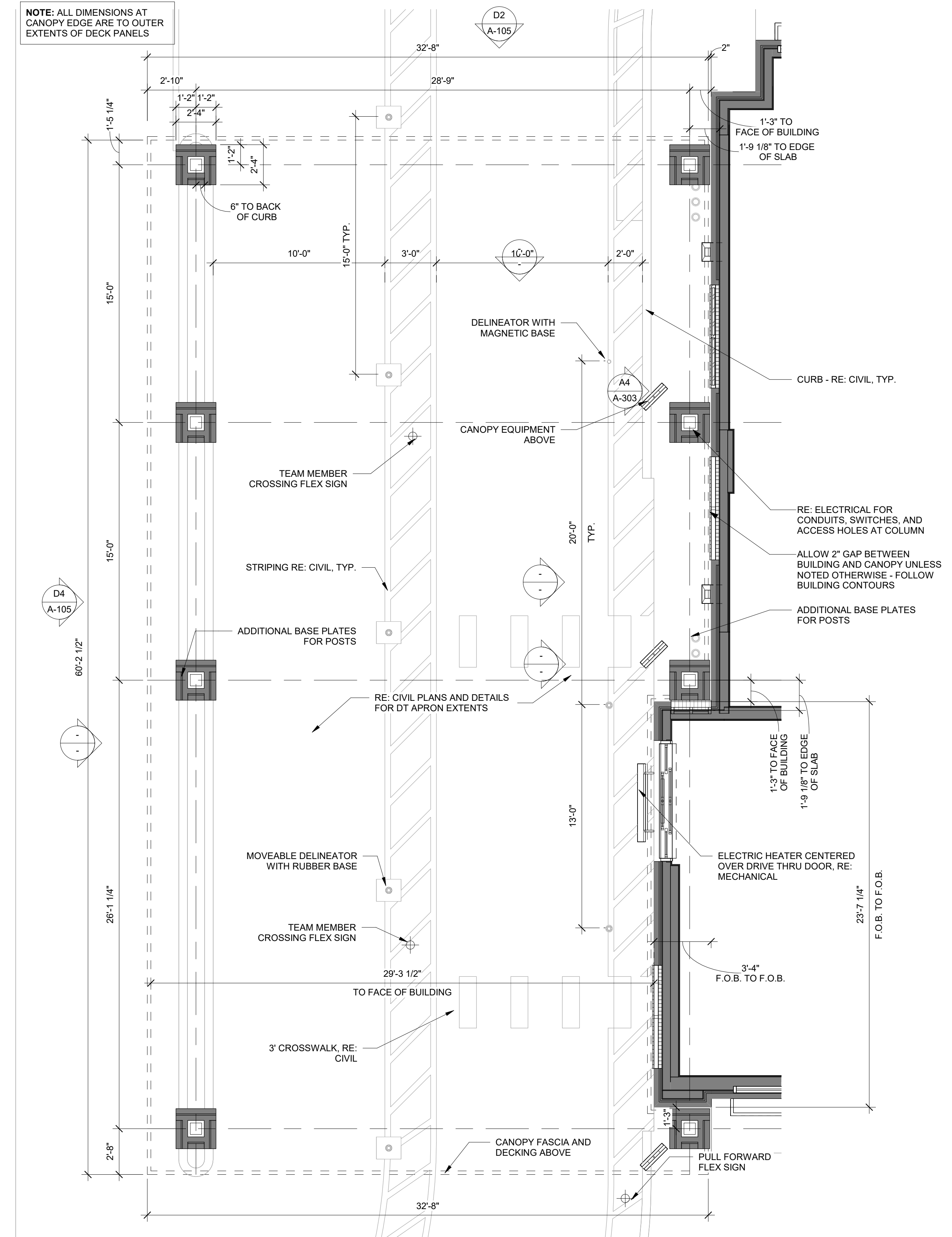
D4 ORDER MEAL DELIVERY - SIDE ELEVATION
1/4" = 1'-0"



D2 ORDER MEAL DELIVERY - FRONT ELEVATION
1/4" = 1'-0"



A4 OUTSIDE MEAL DELIVERY CANOPY REFLECTED CEILING PLAN
1/4" = 1'-0"



A2 OUTSIDE MEAL DELIVERY CANOPY PLAN
1/4" = 1'-0"

10/17/2025 9:38:46 AM Autodesk Docs://TN_05984_Murfreesboro FSU_ARC.rvt 10-SE-05984-A-105-OUTSIDE MEAL DELIVERY CANOPY

D4:
 • STOREFRONT ENTRY ADDED
 • CART CORRAL REMOVED
 • GRILL ADDED AT DRIVE-THRU

B4:
 • WOOD LOOK TOWER ADDED
 • LOWER NON-TOWER PORTION OF PARAPET
 • ELECTRICAL PANEL BOXES TO BE PAINTED TO MATCH LIGHT COLOR BRICK
 • LOWER NON-TOWER PORTION OF PARAPET
 • WOOD LOOK TOWER ADDED

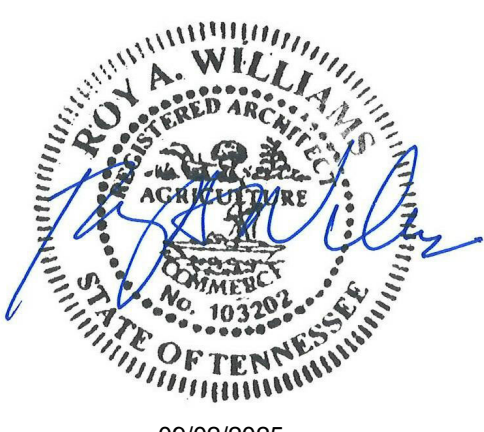


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09/02/2025

CHICK-FIL-A
MURFREESBORO FSR
JOE B. JACKSON PKWY
SAVANNAH RIDGE SUB. LOT #5
MURFREESBORO, TN 37127

FSR#05984

BUILDING TYPE / SIZE: P14 SE BASE
 RELEASE: 25.06
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REVISION SCHEDULE

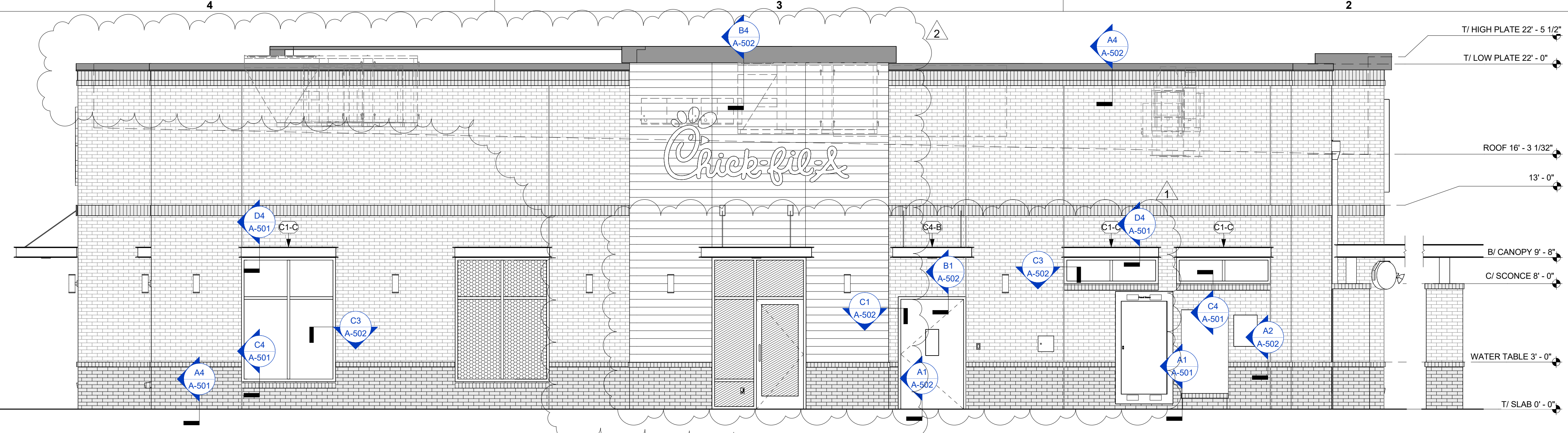
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2	10/30/2025	COMMENTS
3	10/30/2025	PLANNING

CONSULTANT PROJECT # CFTN05984
 DATE 09/02/2025

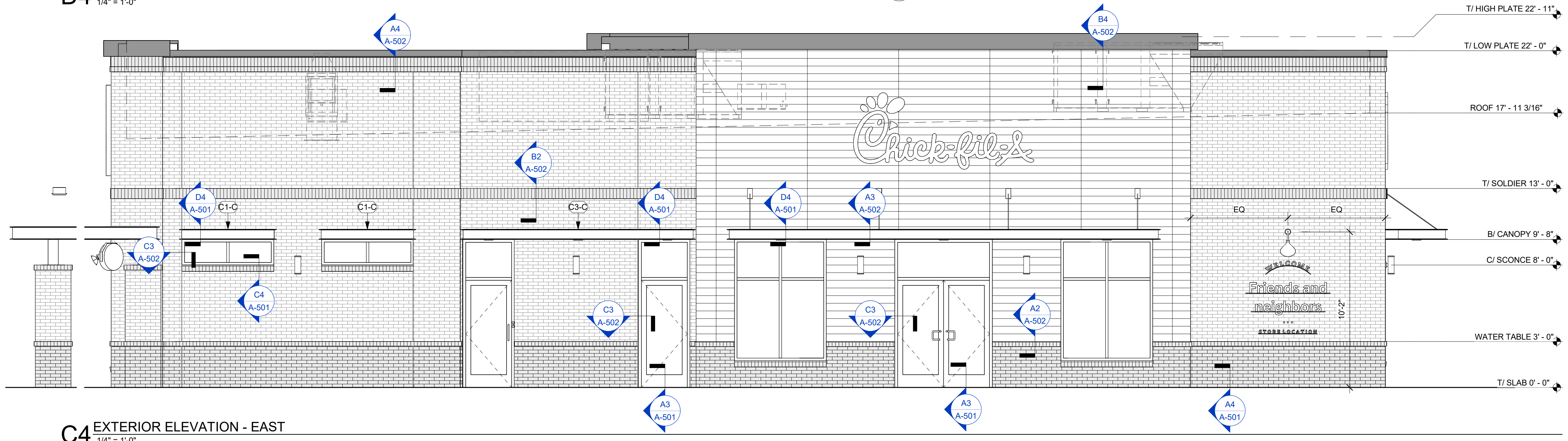
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EXTERIOR ELEVATIONS

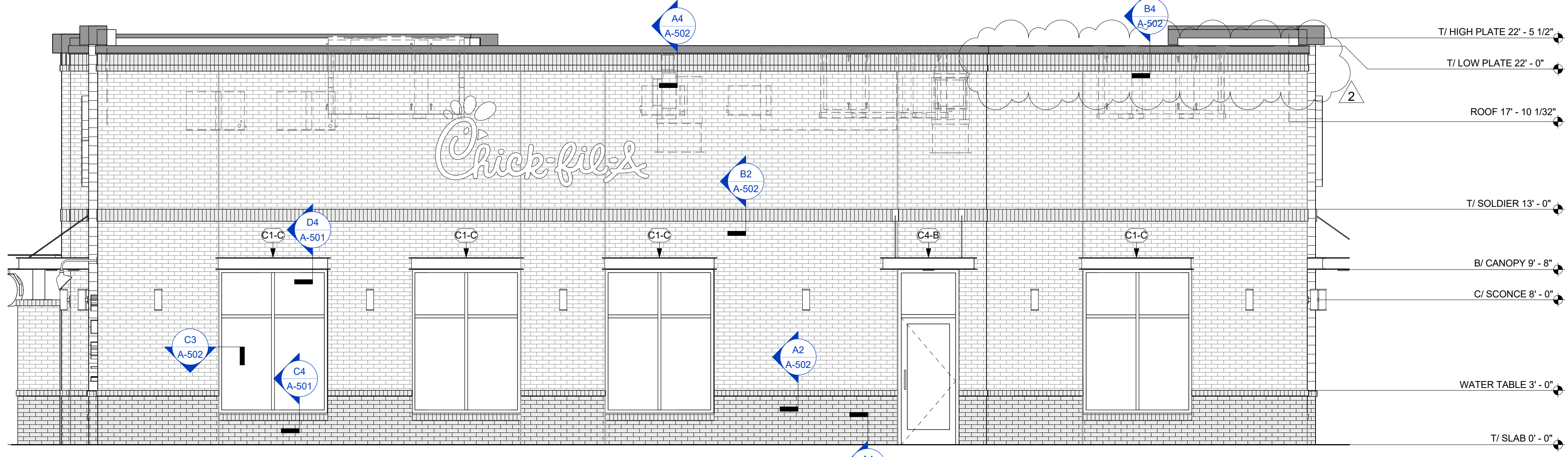
SHEET NUMBER **A-301**



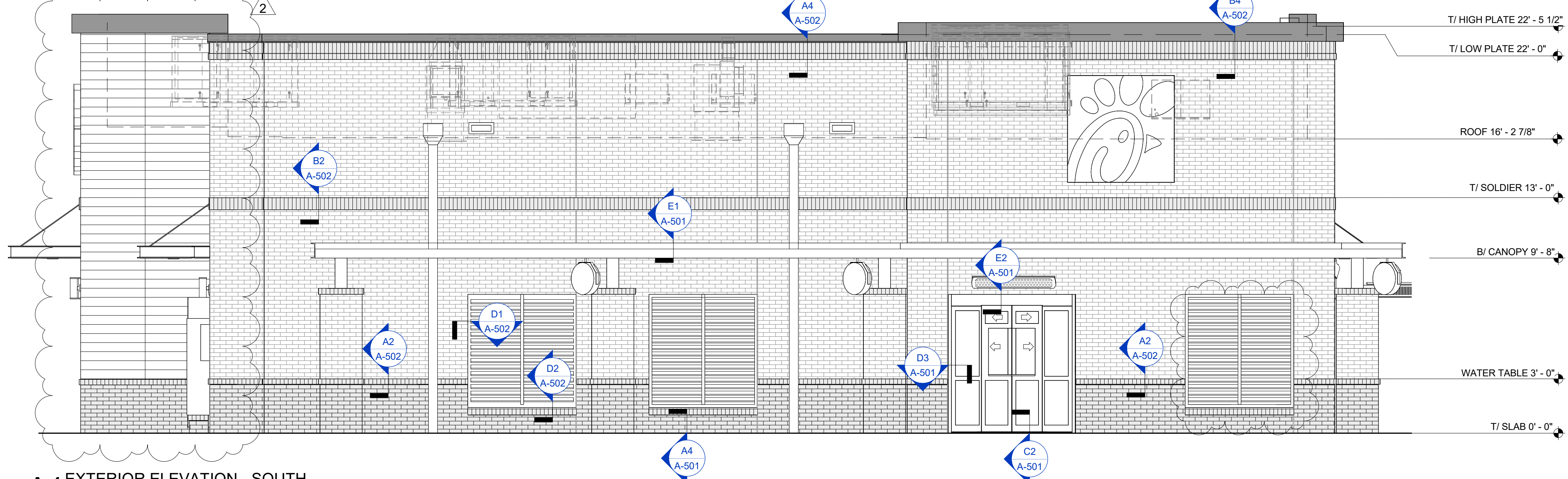
D4 EXTERIOR ELEVATION - WEST
 1/4" = 1'-0"



C4 EXTERIOR ELEVATION - EAST
 1/4" = 1'-0"



B4 EXTERIOR ELEVATION - NORTH
 1/4" = 1'-0"



A4 EXTERIOR ELEVATION - SOUTH
 1/4" = 1'-0"

FINISH SCHEDULE - EXTERIOR

MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	MODEL NUMBER	COLOR	SIZE	NOTE
BR-A	BRICK VENEER (PRIMARY)	BELDEN	MODULAR		BLACK DIAMOND VELOUR	MODULAR	ARGOS WHITE MORTAR
BR-B	BRICK VENEER (ACCENT)	BELDEN	MODULAR		481-483 SMOOTH	MODULAR	ARGOS WHITE MORTAR
CM-1	WOOD COMPOSITE MATERIAL	NICHIHA	VINTAGE WOOD	AWP 1818	CEDAR		
CP-1	CANOPY METAL FASCIA	DJURA COAT		DC19ST-2703	DARK BRONZE		OIL RUBBED BRONZE METALLIC TEXTURE PVD
CP-2	CANOPY METAL DECK				WHITE		SMOOTH WHITE, HIGH GLOSS
EC-1	PARAPET WALL COPING	DUROLAST / EXCEPTIONAL METALS			MIDNIGHT BRONZE		
PT-100	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350	SW 2807	ROOKWOOD		REFUSE ENCLOSURE. FINISH: SEMI-GLOSS ON DOOR FRAMES, SATIN ON WALLS
PT-113	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350	SW BRONZETONE	DARK BRONZE		FINISH: SEMI-GLOSS EXTERIOR METALS
ST-1	STOREFRONT	YKK	YES 45		DARK BRONZE (MATTE)		

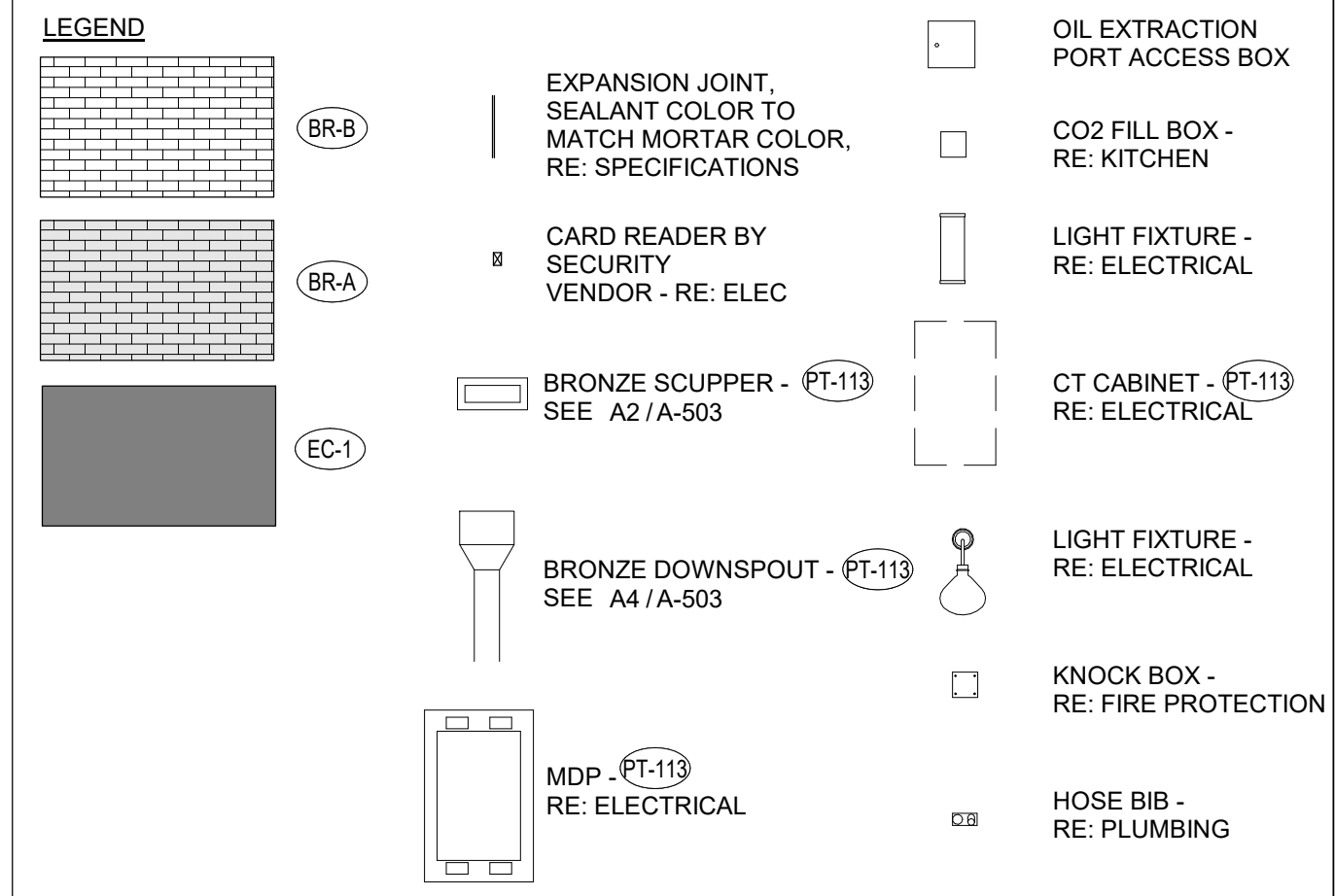
- GENERAL NOTES**
- ALL SIGNAGE PROVIDED BY OTHERS
 - REF FLOOR PLAN AND WINDOW LEGEND FOR STOREFRONT INFORMATION
 - ROOFTOP HVAC AND MECHANICAL UNITS MUST BE SCREENED FROM PUBLIC VIEW
 - DUMPSTER SCREENING MUST EXCEED 1 FOOT ABOVE DUMPSTER

ATTACHED CANOPY SCHEDULE SE

Mark	Description	Count	Overall Width	Overall Depth	Tie Back Mounting (Offset From Top)	Integral Lighting
C1-C	Exterior Canopy	10	6'-4"	1'-0"	0'-0"	No
C3-C	Exterior Canopy	1	15'-4"	2'-0"	0'-0"	Yes
C4-B	Exterior Canopy	2	5'-4"	4'-0"	2'-4"	Yes
C4-L	Exterior Canopy	1	28'-4"	4'-0"	2'-4"	Yes
C4-Q	Exterior Canopy	1	7'-4"	4'-0"	2'-4"	Yes
Grand Total:			15			

CANOPY NOTES:

- BUILDING MOUNTED CANOPIES - 8" THICK CANOPY - KYNAR FINISH OF STRUCTURE, FASCIA, & DECKING TO MATCH (CP-1)
- COLUMN MOUNTED CANOPIES - 10" THICK CANOPY - FINISH OF STRUCTURE TO BE (CP-1) - FINISH OF DECKING TO BE (CP-2)



11/3/2025 4:55:17 PM Autodesk Docs://TN_05984_Murfreesboro FSU_ARC.rvt
 10-SE-05984-A-301-EXTERIOR ELEVATIONS

11/13/2025 4:58:02 PM Autodesk Docs://TN_05984_Murfreesboro FSU_ARC.rvt 10-SE-05984-A-302-COLOR ELEVATIONS



D4 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"



C4 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"



B4 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"



A4 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"

- C4:
 - STOREFRONT ENTRY ADDED
 - CART CORRAL REMOVED
 - GRILL ADDED AT DRIVE-THRU
- D4:
 - WOOD LOOK TOWER ADDED
 - LOWER NON-TOWER PORTION OF PARAPET ELECTRICAL PANEL BOXES TO BE PAINTED TO MATCH LIGHT COLOR BRICK
- B4:
 - LOWER NON-TOWER PORTION OF PARAPET
- A4:
 - WOOD LOOK TOWER ADDED

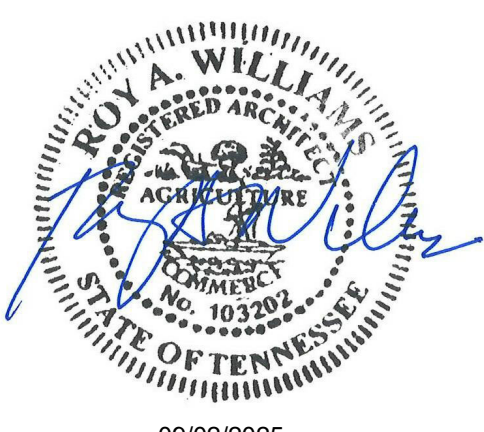
EXTERIOR FINISHES	
BR-A BRICK VENEER COLOR: DARK GRAY/BLACK SIZE: MODULAR	EC-1 PREFINISHED METAL COPING COLOR: MIDNIGHT BRONZE
BR-B BRICK VENEER COLOR: CREAM SIZE: MODULAR	PT-13 EXTERIOR PAINT COLOR: DARK BRONZE FINISH: SEMI-GLOSS
CM-1 COMPOSITE WOODLOOK PANEL COLOR: VINTAGEWOOD CEDAR SIZE: 17 7/8" H X 71 9/16" L	ST-1 STOREFRONT COLOR: DARK BRONZE



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09/02/2025

CHICK-FIL-A
MURFREESBORO FSR
JOE B. JACKSON PKWY
SAVANNAH RIDGE SUB. LOT #5
MURFREESBORO, TN 37127

FSR#05984
BUILDING TYPE / SIZE: P14 SE BASE
RELEASE: 25.06
PRINTED FOR PERMIT

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1	09/10/2025	IFP COMMENTS
2	10/30/2025	PLANNING

CONSULTANT PROJECT # CFTN05984
DATE 09/02/2025

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SHEET COLOR ELEVATIONS
SHEET NUMBER **A-302**

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
NOVEMBER 19, 2025
PROJECT PLANNER: HOLLY SMYTH**

8.a. Zoning application [2025-423] for approximately 5.3 acres located at 210 Chaffin Place to be rezoned from CH to PND (Redeemer Classical Academy PND), Redeemer Classical Academy applicant.

The subject property is located at 210 Chaffin Place (also known as Tax Map 092, Parcel 088.00). It is located at the south end of the Chaffin Place cul-de-sac, which is located south of Old Fort Parkway. The existing building on the subject property was constructed in 1985 and consists of approximately 12,000 square feet of building area. Between 1997 to at least 2021 the building was used as **Old Fort Academy child daycare center with a 250-student capacity**, which was allowed by right in the CH zone district. No use has been located in the building for at least the last 3 years. Last year the CH zone district policies would have allowed a new school on the subject property by right. However, earlier this year, the City adopted new zoning regulations related to schools and institutional group assembly uses. The new regulations require rezoning to a planned development in order for a public or private school (grades K-12) to be established for the first time on a piece of property, regardless of the existing zoning.

Redeemer Classical Academy proposes to renovate the current building interior into 13 classrooms, administrative offices, a music & art room, and a multi-purpose room. The initial capacity anticipates serving **85-100 pre-k through 12th grade students** with 12-16 faculty and staff. In the future, the pattern book calls for an 8,500 square-foot addition with a total **maximum student body of 300 students**. The hours of operation is anticipated to be 7am to 4:30pm Monday through Friday with 8am and 3pm bell times, with limited after-hour programs.

Adjacent Zoning and Land Uses

Surrounding abutting zoning is CH (Highway Commercial) to the north and east, with HI (Heavy Industrial) on the south side of the Stones River and RM-16 (Multi-family residential) on the west side of I-24.

The surrounding land uses include shopping, hotels and restaurant uses along Chaffin Place and Old Fort Parkway and the back side of the Towne Centre shopping center.

Proposed PND

The proposed PND will allow for the K-12 school use in conformity with the City's new zoning regulations. **Endnote 34-1 requires rezoning to PND for the use "public or private schools, grades K-12" in the circumstance where "(a) The use has never previously been established on the subject property.**

Because a K-12 school use had never been an established use on the property, a rezone application needed to be filed to change the property from CH to Planned Institutional District (PND). Additionally Endnote 34-2 identifies several standards that must be met for the use as follows (with staff analysis underlined for each):

- a) Parking shall not back into the right-of-way, turn around provided, and parking not located in the required front yard. Some of the pre-existing parking is already located within the front setback and therefore will need to request exemption from this standard.
- b) Type C buffer if adjacent residential uses/zones. Not applicable for this proposal.
- c) Utilities provided if temporary RV hookups for speakers Not applicable for this proposal.
- d) Will meet State and/or City Fire Marshal requirements. This will be done during building permits.
- e) Existing development must comply with prior approvals and correct any violations of zoning or code violations. No violations exist.
- f) All building heights are limited to 50'. All building are far less than the current CH zone district maximum height of 75', and the PND requests lowering the maximum height to 45'.
- g) Any light fixtures associated with recreation fields shall not exceed 80' in height. Not applicable for this proposal.
- h) The minimum yard requirements shall be 40' front, 12.5' side, and 30' rear setbacks. The existing and proposed future addition buildings meet these setback requirements.
- i) If a prior BZA permit authorized on the site, prior conditions shall remain in effect unless the approved PND contains an exception to such conditions. Not applicable, as no prior BZA approval onsite.
- j) Prior to the approval of any site plan, the applicant shall enter into a development agreement with the City for any off-site public infrastructure improvements required in conjunction with the application. A traffic analysis was conducted on the site and no off-site improvements are required.
- k) If accessory uses include machinery that generates noise (such as shop classes) they shall only be conducted indoors at least 150' from property line. Not applicable for this proposal.

Transportation/Traffic Analysis (provided by the City's Public Infrastructure Group)

Traffic: A few years ago the City was able to get funding for a project that substantially improved the Chaffin Place approach to the Old Fort Parkway (OFP) intersection. The signal was also updated to run a more efficient operation and additional turn lanes were added. Chaffin Place runs with significantly less delay than it did before the improvement project was constructed. The existing configuration of the street and the heavy traffic volumes on OFP severely limit the City's options to make any further changes that could accommodate additional volume (as this is one of the City's highest volume intersections).

A Traffic Impact Study (TIS) was conducted at the OFP and Chaffin Place /North Thompson Lane intersection as well as at the intersection of the OFP Frontage Road and Chaffin Place. The TIS indicates there is already significant existing delay and queue. The study indicates that the PM peak hour will not be impacted as school will not be let out during the PM peak. The PM peak is more or less the same volume of traffic from 12:00 to 6:30 PM at this location. That is why staff is currently running a 150 sec cycle length from 11:30 to 6:30. When this school lets out, there will be additional delay and queue for the Chaffin Place approach. There does not appear to be any type of improvement project that Redeemer can reasonably construct to improve the intersection.

Long-term, the widening of Old Fort Parkway to six lanes may allow for a few extra seconds to be redistributed from the main line thru to the side street movements or the main line left turn movements or at least prevent increasing the cycle length, which would create more side street delay.

Future Land Use Map



The future land use map contained in the Murfreesboro 2035 Comprehensive Plan, which was adopted in 2023, recommends that the subject parcel develop with a *General Commercial* land use character (see excerpt from the future land use map below). Auto-Urban commercial uses include high intensity commercial businesses that have a trade area outside of Murfreesboro and/or require a large amount of land for their operations. Typical uses included regional shopping centers, grocery stores, hotels, gas stations, restaurants, and “big box” retailers. Due to the potential for these uses to generate high traffic volumes, their location should be on or with adequate access to arterial roadways. Development types includes a wide variant of uses including gas stations, car washes, restaurant chains. Characteristics include significant

portions of development devoted to vehicular access drives, circulation routes, surface parking, and loading/delivery areas and may include formal open space.

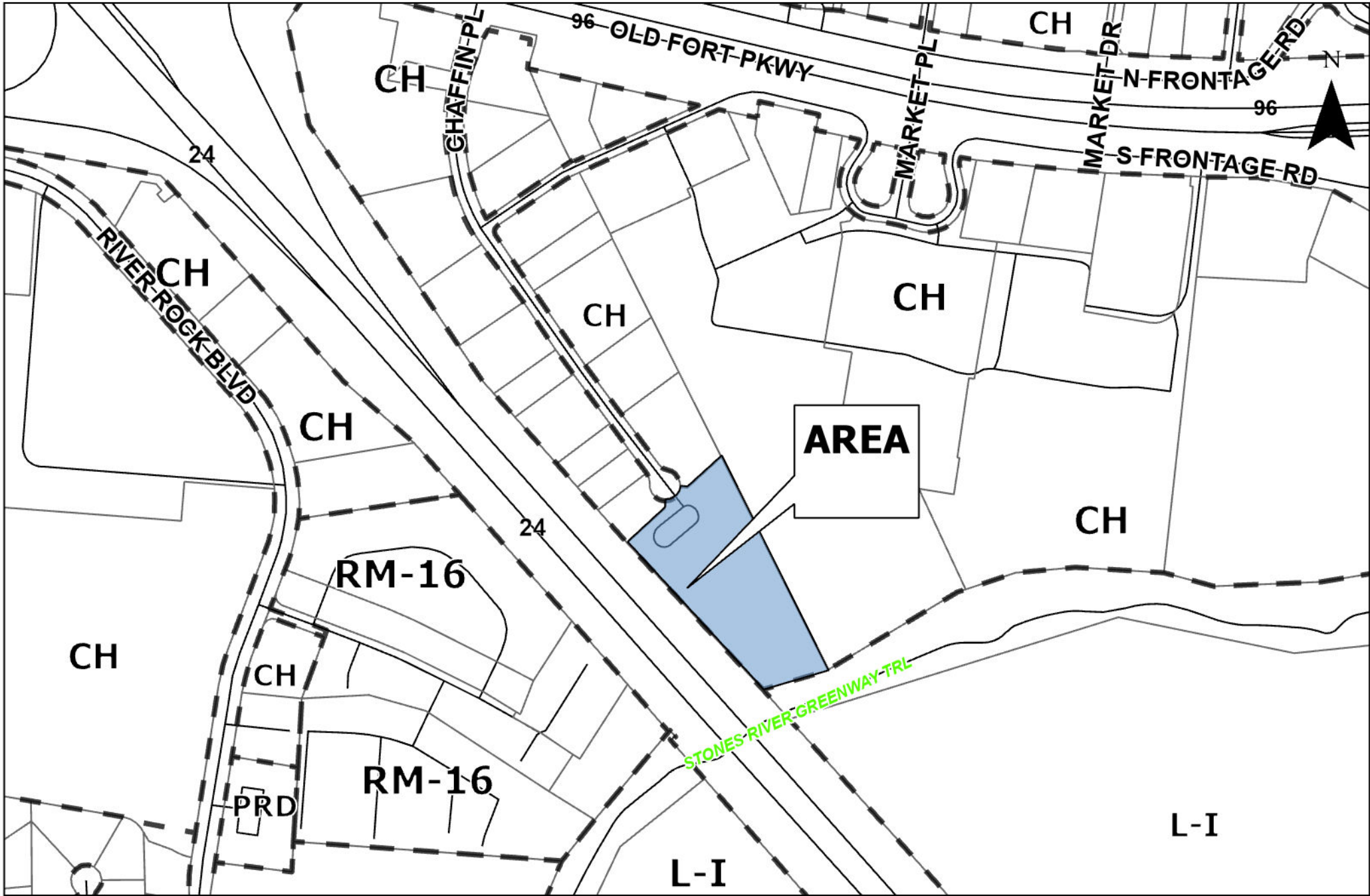
The comprehensive plan calls out CH, PCD, PUD, PND, and CF as existing zoning districts that are compatible with this designation. In Staff's opinion, the proposed rezone is consistent with the *General Commercial* land use character because of the proposed PND zoning which is compatible and complementary to the adjacent uses and similar to the last use of the property.

Action Needed

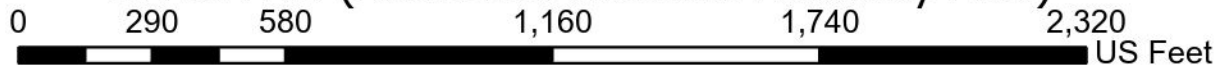
An initial presentation will be provided at the Planning Commission meeting. The Planning Commission needs to schedule a public hearing for this matter. Staff recommends a public hearing date of **December 3, 2025**.

Attachments:

- Ortho Zone Map
- No-ortho Zone
- Program Book



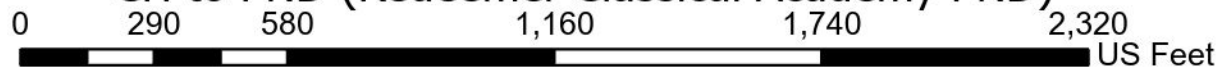
Rezoning request for property along Chaffin Place
 CH to PND (Redeemer Classical Academy PND)



Planning Department
 City of Murfreesboro
 111 West Vine St
 Murfreesboro, TN 37130
www.murfreesborotn.gov



Rezoning request for property along Chaffin Place
 CH to PND (Redeemer Classical Academy PND)



Planning Department
 City of Murfreesboro
 111 West Vine St
 Murfreesboro, TN 37130
www.murfreesborotn.gov

REDEEMER CLASSICAL ACADEMY

A REQUEST FOR REZONING FROM COMMERCIAL HIGHWAY (CH) TO PLANNED INSTITUTIONAL DISTRICT (PND)

Murfreesboro, Tennessee



SEC Project #21570



Initial Submittal

October 16, 2025

Resubmitted

November 7th, 2025 for the November 19th, 2025
Planning Commission Meeting



Company Name: SEC, Inc.
Profession: Planning.Engineering.Landscape Architecture
Attn: Matt Taylor / Brian Grover
Phone: (615) 890-7901
Email: [REDACTED]
Web: www.sec-civil.com

850 Middle Tennessee Blvd.
Murfreesboro, Tennessee 37129

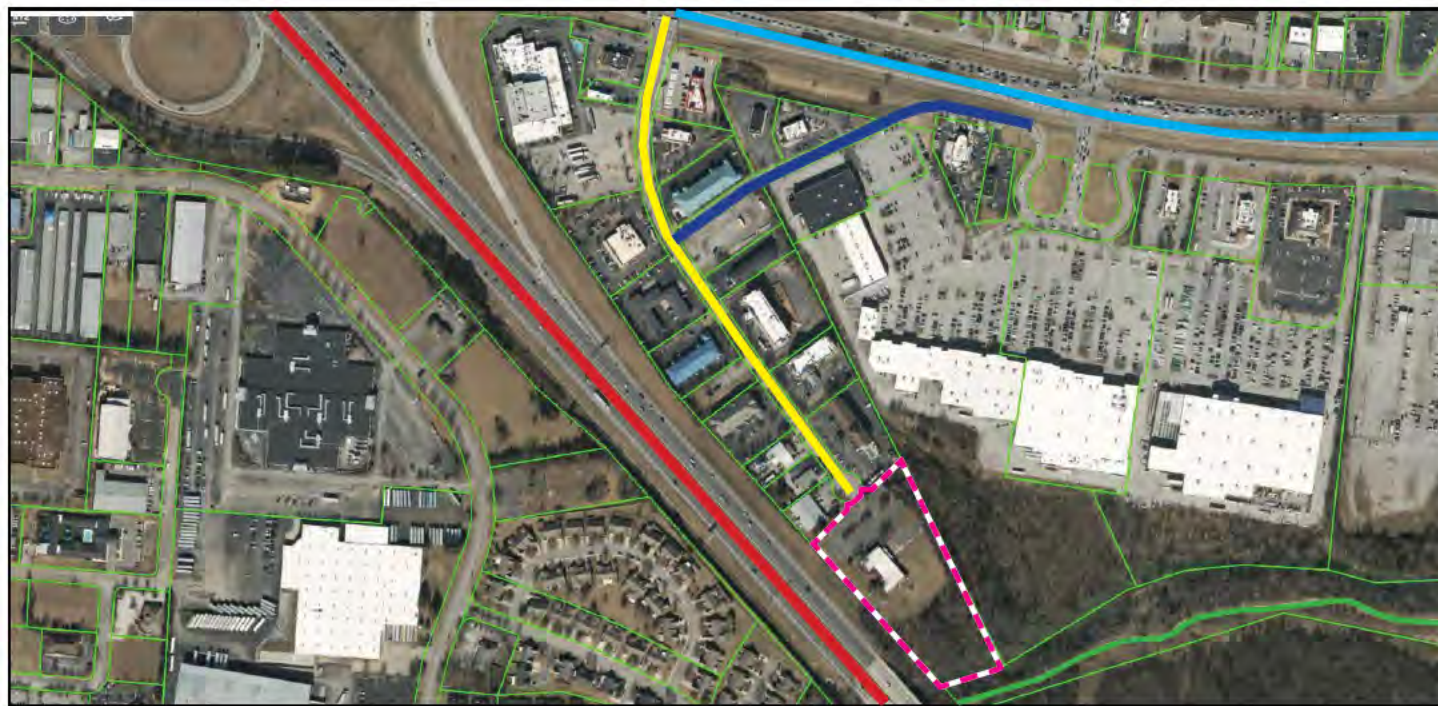


Company Name: Redeemer Classical Academy
Profession: Chairman
Attn: Stan Bennett
Phone: 615-713-9526
Email: [REDACTED]

108 North Church Street
Murfreesboro, Tennessee 37130

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AERIAL PHOTOGRAPH

Not To Scale

- Old Fort Parkway
- S. Frontage Road
- Chaffin Place
- Stones River Greenway Trail
- Interstate 24



Site Boundary

Redeemer Classical Academy respectfully requests rezoning of the property at 210 Chaffin Place from Commercial Highway (CH) to Planned Institutional District (PND), to create Redeemer Classical Academy at Chaffin. The property is located at the southeast terminus of Chaffin Place and is adjacent to Interstate 24. The site is identified as Parcel 88.00 of Tax Map 92 for a total approximate area of 5.30 acres. The site was previously Old Fort Academy, an educational facility with a 250 student capacity.

Redeemer Classical Academy currently operates alongside Fellowship Bible Church at the southeast corner of the Veterans Parkway and Jack Byrnes Drive intersection. Established in June 2013, the Academy has experienced steady growth and now seeks to expand enrollment in response to increasing demand within Murfreesboro and Rutherford County. In addition to welcoming new students, Redeemer Classical Academy remains committed to enhancing its educational offerings and expanding its facilities to support continued excellence in learning. With this request, Redeemer Classical Academy can take a step forward, to achieve both by relocating to this property.

Redeemer Classical Academy at Chaffin proposes to utilize the existing building, approximately 12,000 sq ft in size, along with a future 8,500 sq ft addition. The renovated building will provide thirteen classrooms, administrative offices, music & art room, and a multi-purpose room, with a future addition providing opportunities for expansion. At initial capacity, the school will educate approximately 85-100 (Pre K-12th) students, accompanied by approximately 12-16 faculty and staff with a maximum estimated student body of 250-300 students. The school's hours of operation will mirror that of the nearby schools approximately 7am - 4:30pm, Monday - Friday with 8am and 3pm bell times, with limited after hour programs each year. Overall the operations will remain similar as they are today.



ZONING MAP

Not To Scale

- RS-15 Residential Single-Family (RS-15)
- RM-16 Residential Multi-Family (RM-16)
- CH Commercial Highway (CH)
- H-I Heavy Industrial (H-I)
- PRD Planned Residential District (PRD)

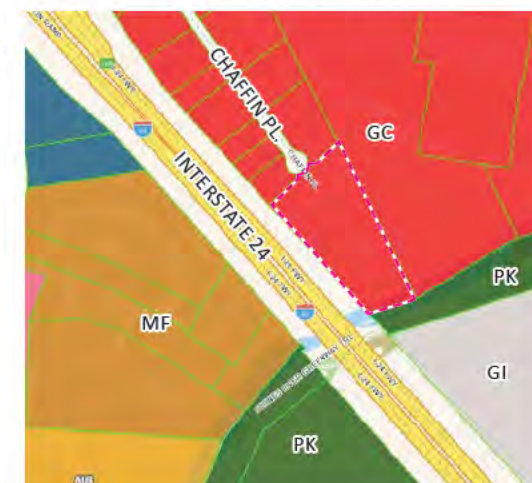


Site Boundary

The surrounding area consists of a mixture of zoning types and land uses. The lands to the north and northeast are primarily zoned Commercial Highway. The lands to the southeast are zoned Heavy Industrial on the south-side of the Stones river and the lands across Interstate 24 are zoned RM-16.

The Murfreesboro Future Land Use Plan Amendment proposes this area as General Commercial (GC). The General Commercial (GC) character area is intended to provide a broad mix of commercial activities along major transportation routes, and is characterized by large parking lots surrounding buildings. Some of the viable development types for this character area include Commercial Centers, Automobile service-related enterprises, hotels, Big-Box Commercial stores, and Restaurant Chains.

2035 FUTURE LAND USE MAP



The proposed development does align with the Murfreesboro Future Land Use Plan in terms of suggested Zoning Districts as PND's are a recommended district for the GC character area. Although not providing a commercial land-use, the design characteristics needed for a proposed school align with the GC characteristics portrayed in terms of vehicular circulation, off-street parking, access to major transport routes, and general need for larger tracts of land.



SUBDIVISION MAP

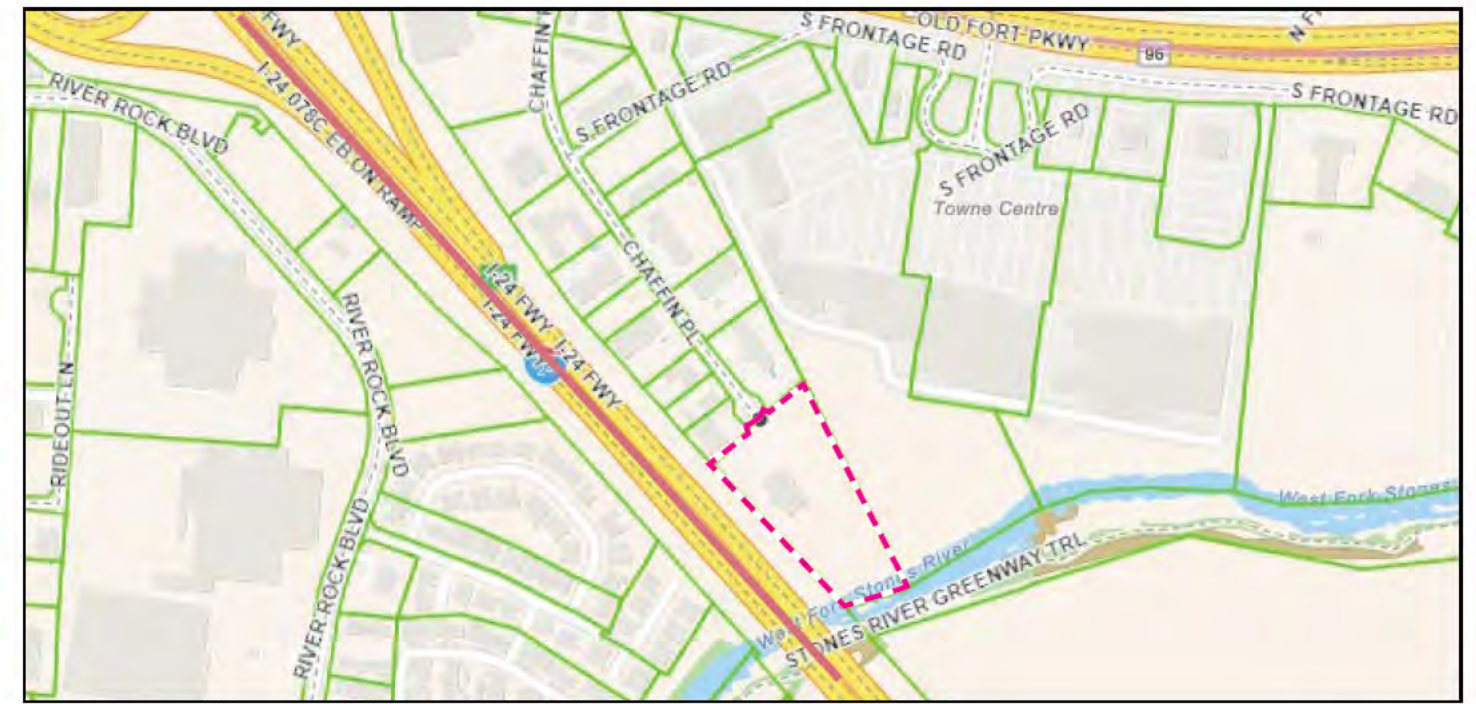
Not To Scale

- | | | |
|-----------------------------|--------------------------|-------------------------|
| River Rock Crossing | HylaBrook Antique Mall | Days Inn & Suites Hotel |
| River Chase Townhomes | Williams Animal Hospital | Best Western Hotel |
| General's Retreat Townhomes | Ewing Outdoor Supply | Spark by Hilton Hotel |
| Towne Centre Shopping Mall | Sleep Inn Hotel | Holiday Inn Hotel |



The proposed development is adjacent to several commercial properties along Chaffin Place. Such properties include Williams Animal Hospital, Sleep Inn Hotel, and the HylaBrook Antique Mall. Located to the northeast of the site is the Towne Centre Shopping Mall which houses some larger retailers such as Target and TJ Max. Located to the west and southwest of the site across Interstate 24 Highway are the multi-family developments of River Chase Townhomes and General's Retreat Townhomes.

The River Chase and General's Retreat contains one and two-story buildings, with exterior elevations consisting of primarily of a mixture of brick and vinyl along the all elevations. Just to the north of these developments is the River Rock Crossing Senior Community, consisting of one and two-story single family detached homes with garages. The exterior elevations consist primarily of brick along the front and side elevations.



2040 MAJOR TRANSPORTATION PLAN

Not To Scale

- 6 LANE ROADWAY



The property has access to the existing public rights-of-way of Chaffin Place through one entrance. Chaffin Place is classified as a local street, and is not designated for any roadway improvements on the City of Murfreesboro's 2040 Major Transportation Plan. Chaffin Place is currently built as a two-lane roadway with curb & gutter on both sides of the road. The City recently made road widening improvements at Chaffin Place, south of Old Fort Parkway, to add a north bound left turn lane that increased storage capacity by ≈ 200 feet, which created a double left lane.



UTILITY MAP

Not To Scale

-  WATER
-  SEWER
-  STORMWATER

-  ELECTRIC



Site Boundary

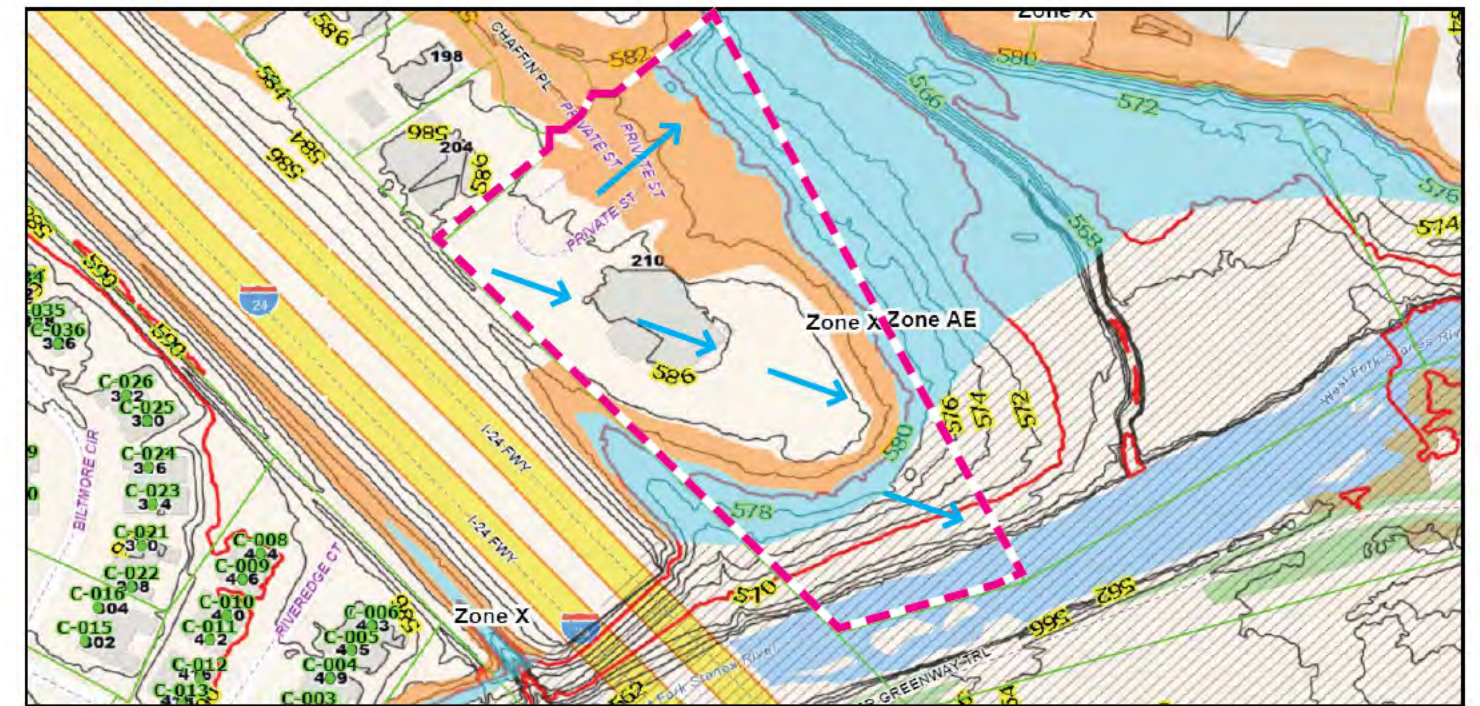


Water service will be provided by the Murfreesboro Water Resources Department. There is an existing 8 inch cast iron water line along Chaffin Place providing water service into the site. The developer will be responsible for extending the waterline into the site for domestic and fire water service. Water mains extend into the site will have a 20' easement.

Sanitary sewer services will be provided by the Murfreesboro Water Resources Department. There is an existing 8 inch ductile iron gravity line along Chaffin Place. The developer will be responsible for extending the sanitary sewer services into the site.









Electric service will be provided by Middle Tennessee Electric. Service will be extended from Chaffin Place. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.



HYDROLOGY AND TOPOGRAPHY

Not To Scale

-  WATER FLOW DIRECTION
-  INTERMEDIATE CONTOURS
-  INDEX CONTOURS
-  ZONE X 500-YEAR FLOODPLAIN
-  ZONE AE 100-YEAR FLOODPLAIN
-  FLOODWAY



Site Boundary

The topographic map above shows the site's topographic high point generally at the north western corner of the property. From this high point, the property drains towards the north and southeast, flowing towards the West Fork Stones River. Stormwater that drains along the northeast flows towards the Towne Centre Shopping Mall property. All Stormwater from this site ultimately drains into West Fork Stones River.

Per the Murfreesboro Zoning Ordinance, as the site sits today, the existing building has a finish floor elevation (FFE) of 586.22 as measured at the truck dock, whereas the 100-year floodplain is at $\approx 580'$ elevation. This is compliant with the Critical Facilities standards being at least 2' above the 100-year floodplain. Any future expansions on site will be built to comply with the Critical Facilities standards as they are written at time of construction.

This property is within Zone AE, a designated floodway or floodplain per FEMA Flood Panel 47149C0260J eff. 5/9/2023

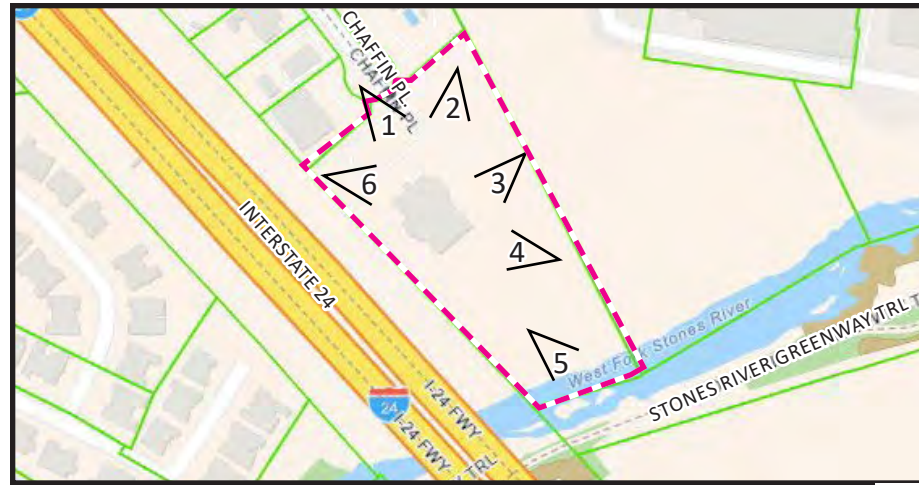
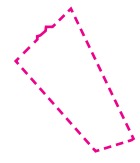


PHOTO DIRECTION MAP

Not To Scale



Site Boundary



View of Entrance Looking Southeast



View of Existing Building and Parking Lot On-Site Looking South



View of Existing Building On-Site Looking Southwest



View of Existing Building On-Site Looking Northwest



View of West Fork Stones River Looking Southeast



View of Existing Building and Parking Lot On-Site Looking East

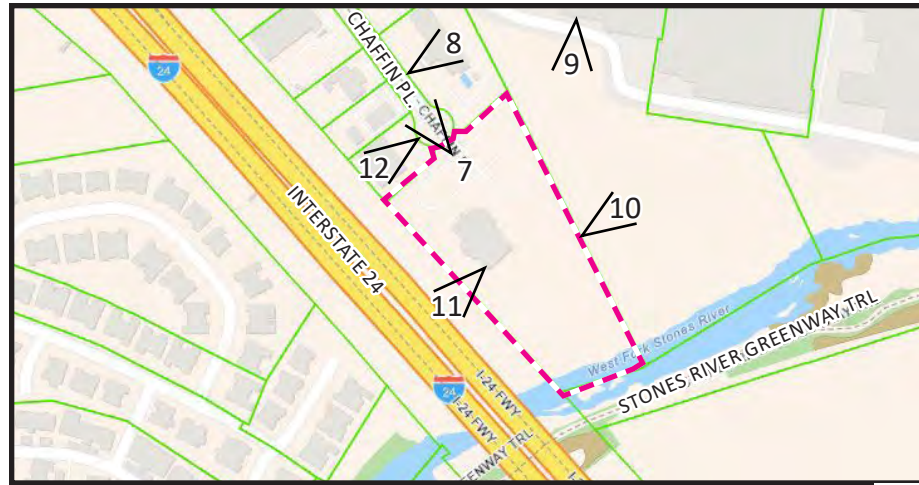
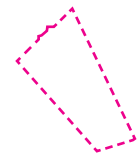
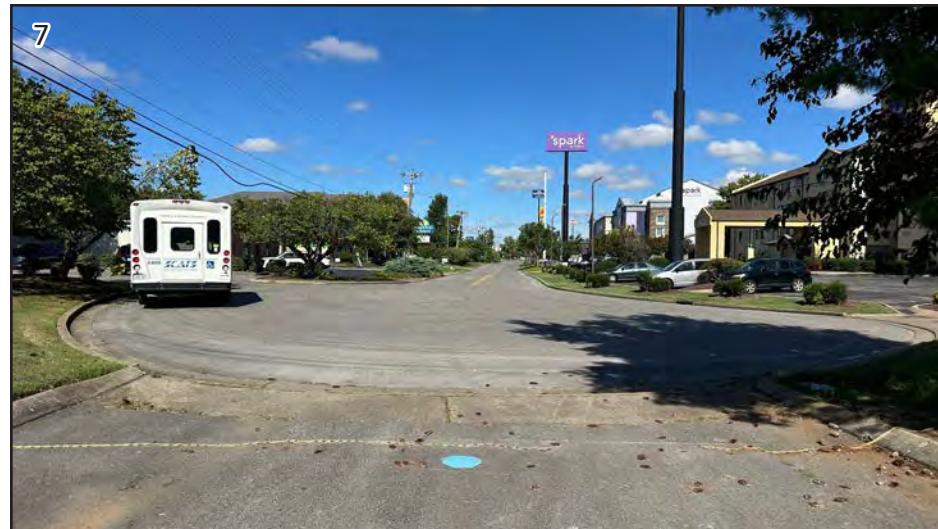


PHOTO DIRECTION MAP

Not To Scale



Site Boundary



View of Chaffin Place Looking Northwest



View of Sleep Inn Hotel Looking Northeast



View of Neighboring Property Field Looking South



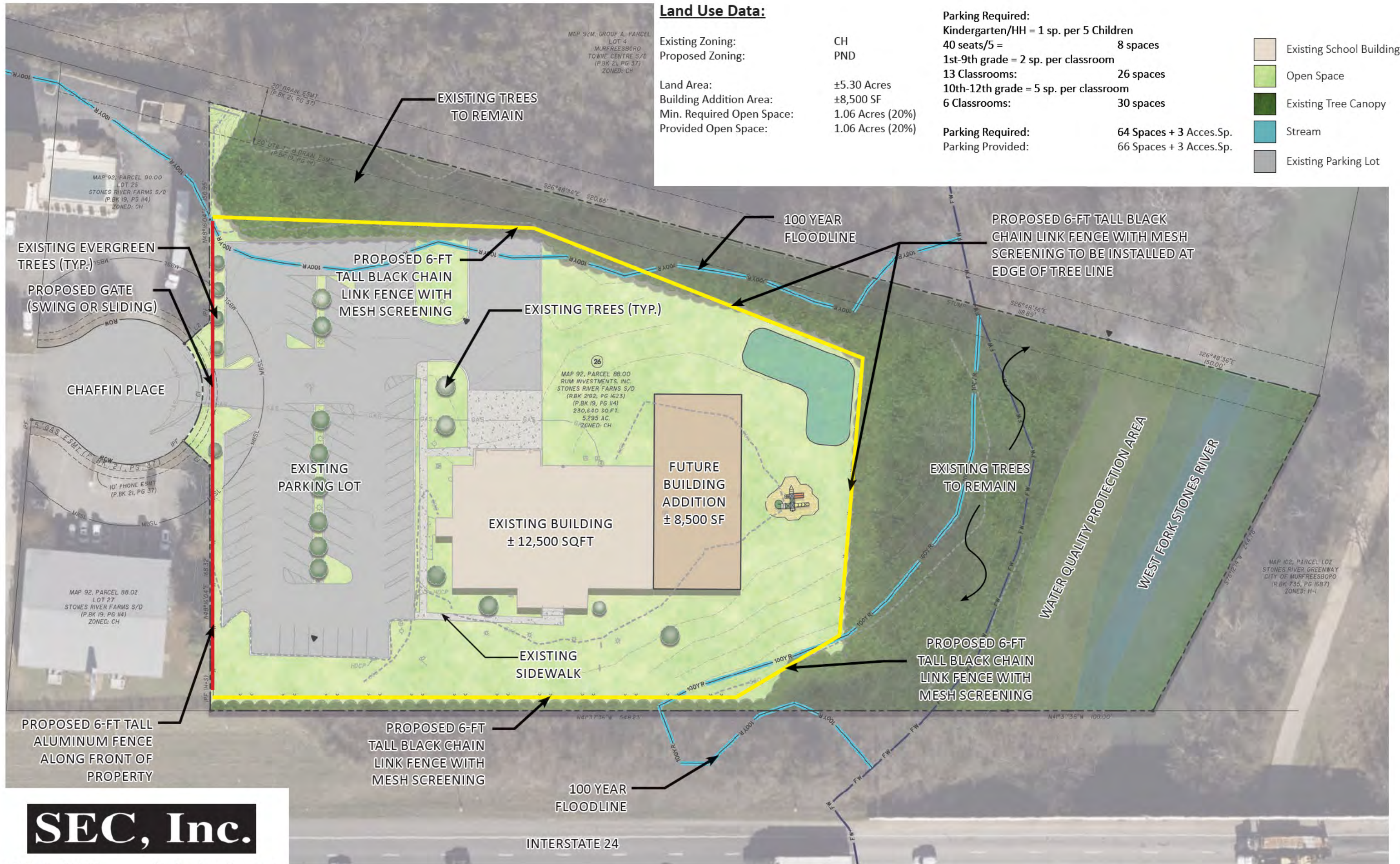
View of Neighboring Property Field Looking Northeast



View of Interstate 24 Looking Southwest



View of Hylabrook Antique Mall Looking Southwest



Land Use Data:

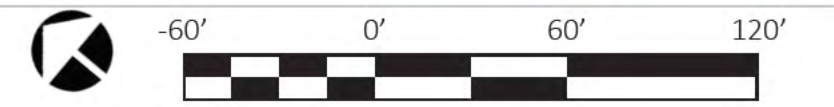
Existing Zoning:	CH
Proposed Zoning:	PND
Land Area:	±5.30 Acres
Building Addition Area:	±8,500 SF
Min. Required Open Space:	1.06 Acres (20%)
Provided Open Space:	1.06 Acres (20%)

Parking Required:	
Kindergarten/HH = 1 sp. per 5 Children	8 spaces
40 seats/5 =	8 spaces
1st-9th grade = 2 sp. per classroom	26 spaces
13 Classrooms:	26 spaces
10th-12th grade = 5 sp. per classroom	30 spaces
6 Classrooms:	30 spaces
Parking Required:	64 Spaces + 3 Acces.Sp.
Parking Provided:	66 Spaces + 3 Acces.Sp.

- Existing School Building
- Open Space
- Existing Tree Canopy
- Stream
- Existing Parking Lot

SEC, Inc.

SEC Project #21570 Murfreesboro, Tennessee



Development Standards:

- The Building will be a maximum of 21,000 SF (12,500 SF existing plus 8,500 SF potential addition)
- Building height shall not exceed 45 feet in height
- Signage will be placed along Chaffin Place for proper identification, and will be built with materials consistent with the building architecture, and be accented with landscaping.
- All mechanical equipment located on the ground (i.e. HVAC and transformers) shall be screened with landscaping or fencing.
- All on-site utilities will be underground
- Solid waste enclosure shall be constructed of materials consistent with the building architecture, be at least 8-feet tall with opaque gates and shall be enhanced with landscaping.
- Solid waste shall be handled via a 3rd party private hauler.
- On-site lighting shall comply with the City of Murfreesboro performance standards to reduce light pollution while providing safety for students, employees and visitors.
- All parking areas will have curbing.
- Parking will comply with the City of Murfreesboro Ordinance in surface materials, number of spaces and size of spaces.
- Project will dedicate a 20' waterline easement along the on-site waterline.
- Operation hours will be Monday-Friday from 7am - 4:30pm. With bell times at 8am and 3pm. Some programs may extend beyond 4:30pm such as Holiday Programs.
- Maximum student enrollment is estimated at 300 students at this time.
- The future addition shall be approximately 8,500 sq ft in size.
- Any future additions shall meet the Critical Facilities requirements pertaining to flood elevations, as they are written in the Murfreesboro Zoning ordinance at time of construction.



PND Site Setbacks

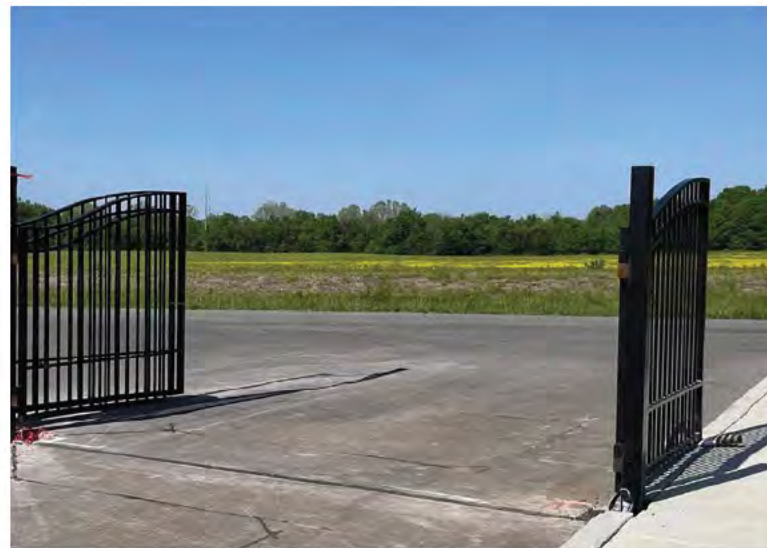
- Front Setback (Chaffin Place): 42-Feet
- Side Setback: 10-Feet
- Rear Setback: 20-Feet



Example of On-Site Lighting



Example of Monument Sign



Example of Entrance Gate



Example of Black Aluminum Fence



Example of 6-ft Tall Chain Link Black Vinyl Fence

Architectural Characteristics:

- Building heights shall not exceed 45 feet in height
- All buildings will be 1-story
- The existing structure’s exterior is to remain primarily unchanged
- The interior of the building shall be renovated to provide for the schools needs.
- The proposed building addition shall match the existing building in terms of material, style, and color with a brick facade.

Building Materials:

All Elevations:

Building to remain unchanged. Repairs to the exterior will be functional or cosmetic to replace windows, doors, etc. as needed.



Existing Front Elevation - Towards Chaffin Place



Existing Rear Elevation



Existing East Elevation - This portion of the building will be updated (painted) to match the color of the other three elevations.

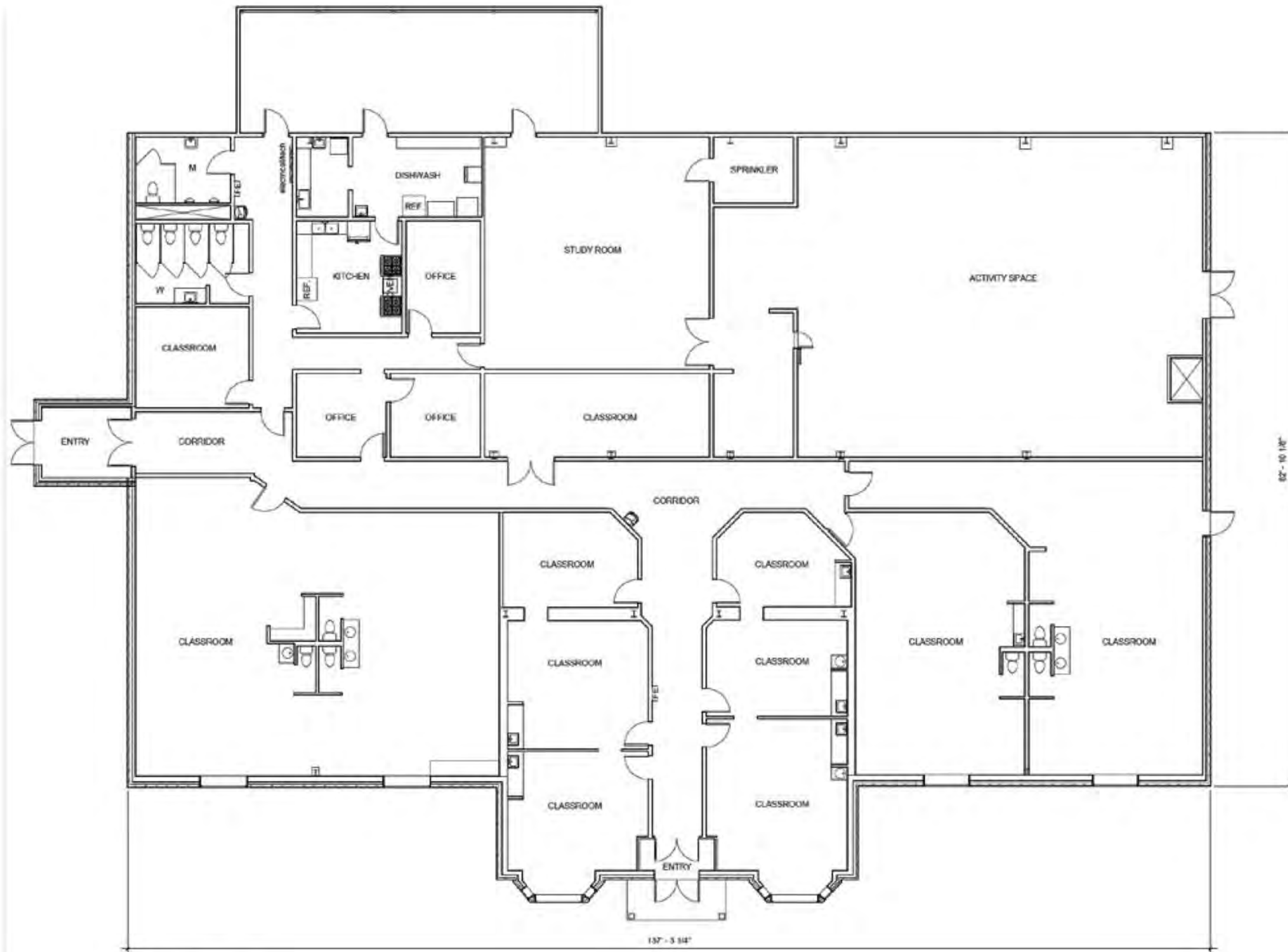


Existing West Elevation

*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.



Redeemer Classical Academy Conceptual Floor Plan

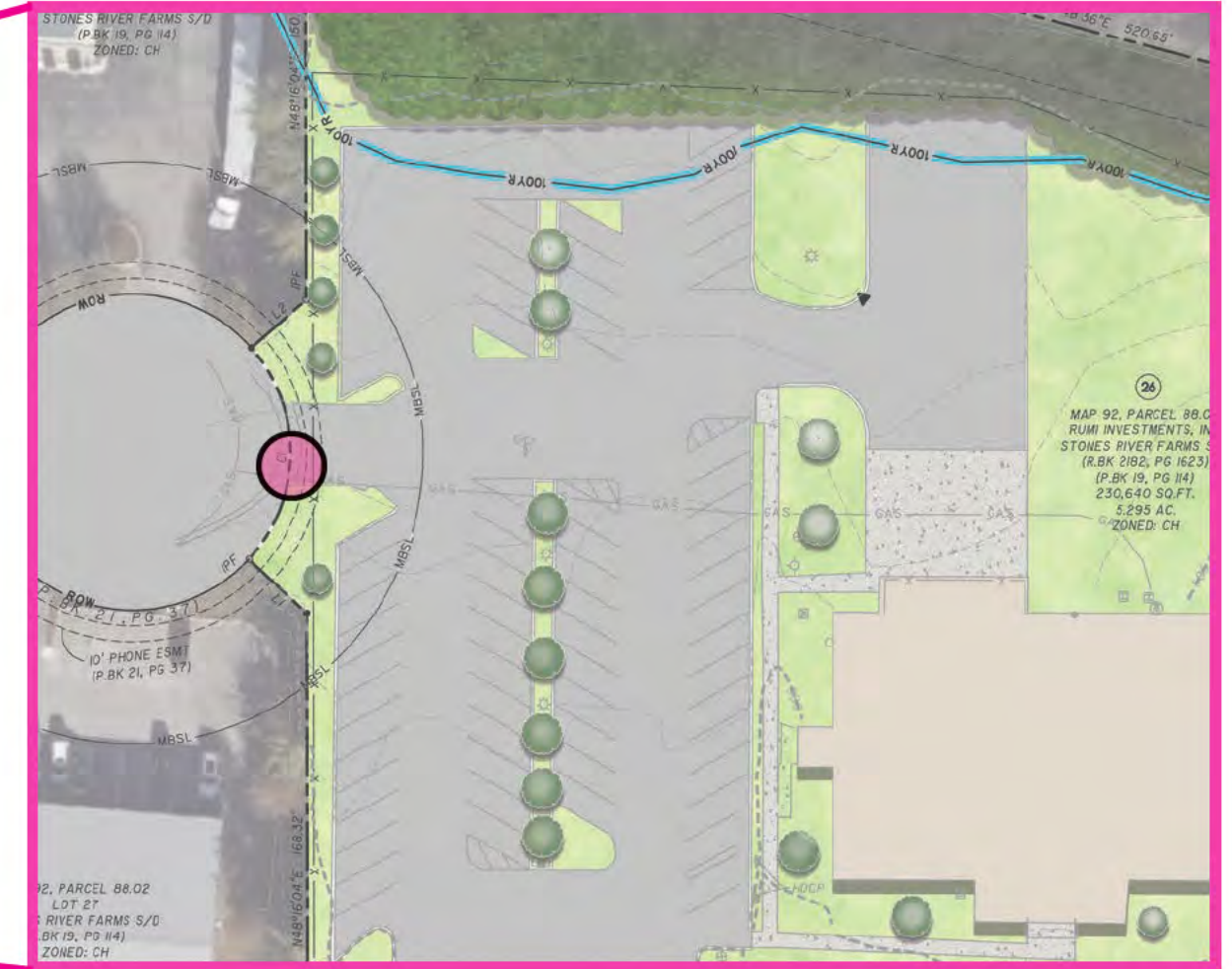
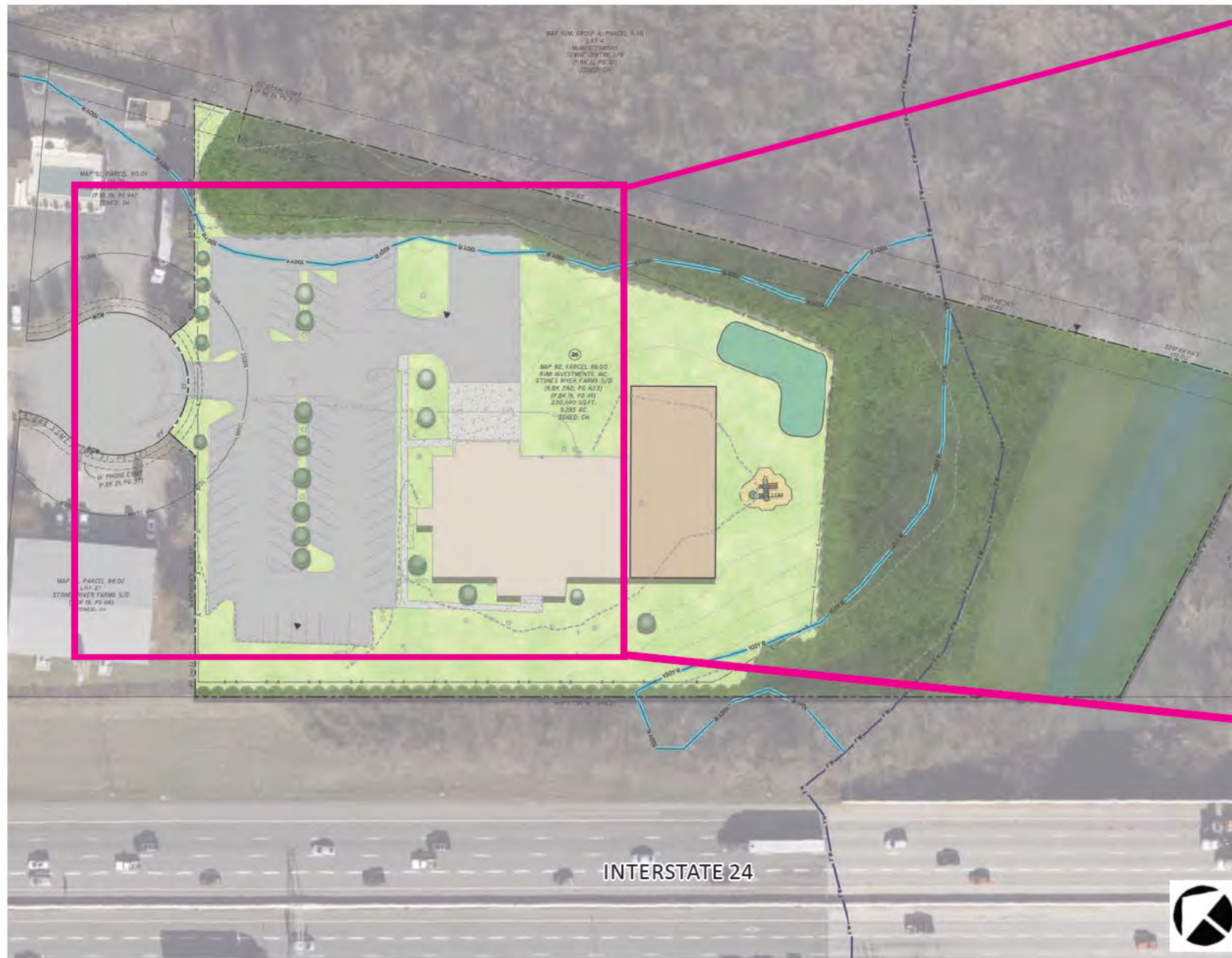



Existing Floor Plan

Redeemer Classical Academy Existing Floor Plan

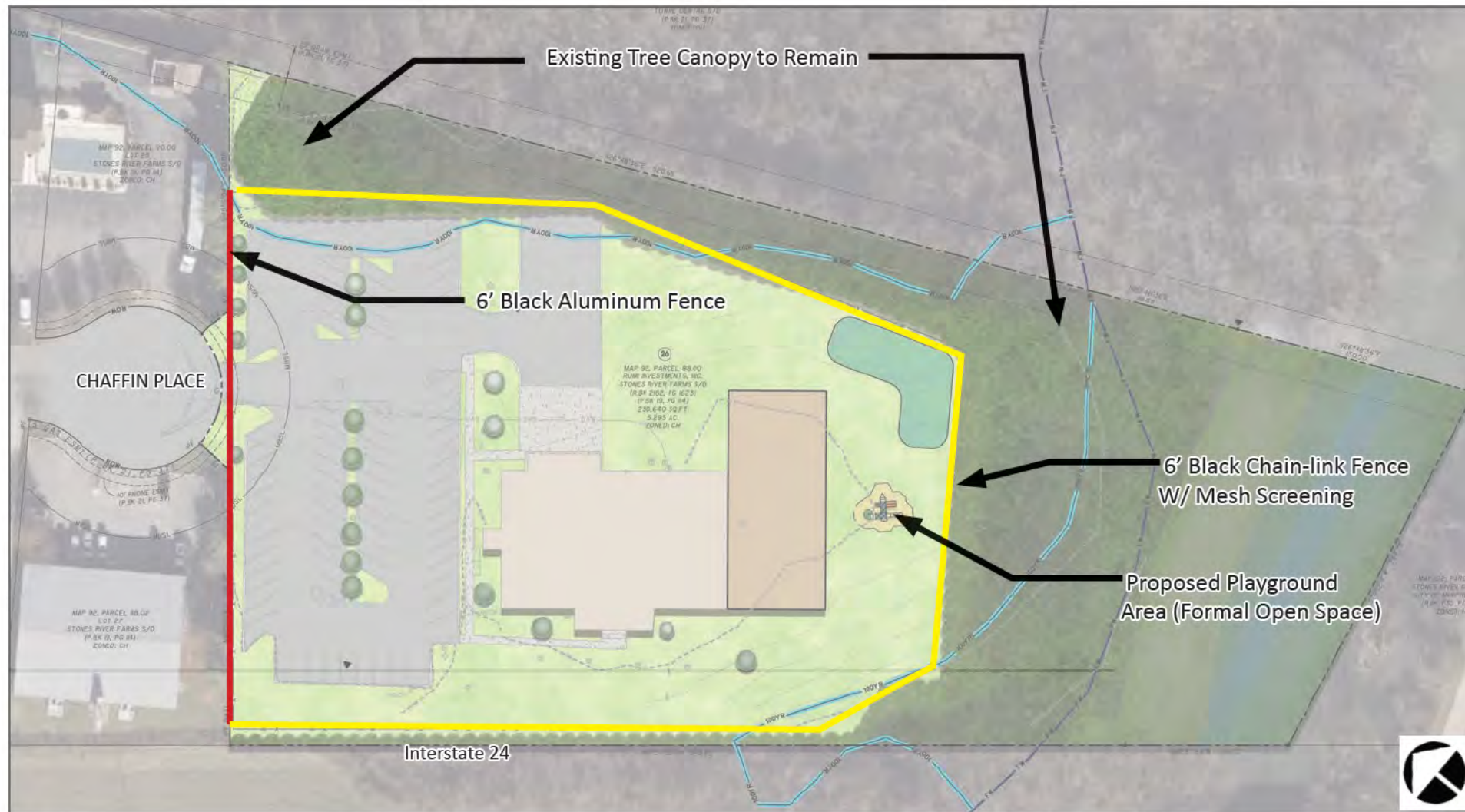
*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.





 Ingress/Egress Point

Pursuant to the City of Murfreesboro's Major Thoroughfare Plan (MTP), none of the roadways in this development are slated for improvements. Chaffin Place is a minor thoroughfare where the majority of vehicular trips generated by this development will impact. It is currently built as a 2 lane cross-section with curb and gutter along with no sidewalks on both sides of the roadway. Much of the existing traffic on Chaffin Place is generated by the adjacent Towne Centre Shopping Mall through the S. Frontage road. As stated above, the only primary means of ingress/egress from this site will be onto Chaffin place. A traffic impact study has been completed. The study did not warrant any improvements and this has been reviewed and accepted by Murfreesboro Public Infrastructure.



Example of Black Aluminum Fence



Example of Black Chain-link Fence

Landscaping Characteristics:

- Existing landscaping around the building is to remain. Trees and shrubs that are removed or damaged during construction shall be replaced.
- A minimum 8 feet of landscape area shall be required for any proposed parking areas and the Chaffin Place ROW. The existing parking areas shall remain as is and are not required to be reconstructed to meet the 8' distance requirements along the northwestern boundary of the site.
- Public rights-of-way screened from parking by use of landscaping and/or berming.
- All above ground utilities and mechanical equipment shall be screened with landscaping and/or fences.
- The base of building plantings will not be required with this project based on recommendations of the Department of Homeland Safety for educational facilities.
- All other Landscaping will be in conformance with the City of Murfreesboro's landscaping ordinance.
- Detention ponds and other stormwater facilities shall follow beautification standards per City of Murfreesboro landscaping ordinance.
- Fencing shall be utilized as seen in the above exhibit. Fencing shall be a minimum of 6' tall. Gated entrances shall coordinated with Emergency Services to ensure access into the site.
- Formal Open Space requirements shall be satisfied by the playground area.

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: The exhibits given on Pages 3-6 meet this requirement.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: The exhibits given on Pages 3-6 meet this requirement.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: The exhibits given on Pages 3-6 meet this requirement.

4.) A drawing defining the location and area proposed to be developed for buildings and parking; standards for pedestrian and vehicular circulation; the proposed points of ingress and egress to the development; the provision of spaces for loading; proposed screening to be made in relation to abutting land uses and zoning districts; and the extent of proposed landscaping, planting and other treatment adjacent to surrounding property.

Response: Pages 8-9,14-15 provide exhibits and standards that provides the required materials.

5.) A circulation diagram indicating the proposed principal movement of vehicles, goods and pedestrian within the development to and from existing thoroughfare.

Response: Page 14 provide exhibits and standards that provides the required materials.

6.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

- (AA): The approximate date when construction of the project can be expected to begin.
- (BB): The order in which the phases of the project will be built.
- (CC): The minimum area and the approximate location of common spaces and public improvements that will be required at each stage
- (DD): A breakdown by phase for subsections (5) and (6) above.

Response: The project is anticipated to be developed in one phase. Development is anticipated to begin within 180 days of rezoning approval, and will include all public infrastructure.

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned Commercial Highway (CH). The surrounding area has a mixture of commercial and industrial properties. The concept plan and development standards combined with the architectural requirements of the buildings shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complement existing and future development in this area.

8.) A statement setting forth in detail the manner in which the proposed planned development deviates from the zoning and Subdivision Regulations which would otherwise be applicable to the subject property. See below Comparative Use Table for exception in red text.

Response: The applicant is not requesting setback exceptions with this PND.

SETBACKS	CH	PND	DIFFERENCE
Front Setback	42.0'	42.0'	+0.0'
Side Setback	10.0'	10.0'	+0.0'
Rear Setback	20.0'	20.0'	0.0'
Minimum Lot Size	N/A	N/A	N/A
Minimum Lot Width	N/A	N/A	N/A

9.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio) and the O.S.R. (Open Space Ratio). These tabulations are for the PND.

Response: This requirement has been addressed in the chart below.

TOTAL SITE AREA	230,868 s.f.
TOTAL MAXIMUM FLOOR AREA	21,000 s.f.
TOTAL LOT AREA	230,868 s.f.
TOTAL BUILDING COVERAGE	21,000 s.f.
TOTAL DRIVE/ PARKING AREA	39,248 s.f.
TOTAL RIGHT-OF-WAY	0 s.f.
TOTAL LIVABLE SPACE	191,620 s.f.
TOTAL OPEN SPACE	153,105 s.f.
FLOOR AREA RATIO (F.A.R.)	0.09
LIVABILITY SPACE RATIO (L.S.R.)	0.74
OPEN SPACE RATIO (O.S.R.)	0.91

10.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is not in the Gateway Design Overlay District , Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). The property lies in Zone AE, within the 100-year floodplain, according to the current FEMA Map Panel 47149C0260J Effective 5/9/2023.

11.) The location and proposed improvements of any street depicted on the Murfreesboro Major Transportation Plan as adopted and as it may be amended from time to time.

Response: Pages 4 & 14 discusses the Major Transportation Plan.

12.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

Response: The primary representative is Matt Taylor of SEC, Inc. developer/ applicant is Redeemer Classical Academy contact info for both is provided on inside of cover.

13.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

Response: Pages 10-13 show the architectural character of the proposed building and building materials listed.

14.) If a development entrance sign is proposed the application shall include a description of proposed signage for the development including calculations of square footage and height. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: Examples of entrance signage are located on Page .

PND Setbacks

LAND USE PARAMETERS AND BUILDING SETBACKS			
ZONING (EXISTING VS PROPOSED)	CH (COMPARATIVE)	PROPOSED PND	DIFFERENCE
RESIDENTIAL DENSITY			
MINIMUM LOT AREA	N/A	NA	N/A
MINIMUM LOT WIDTH	N/A	NA	N/A
MINIMUM EXTERNAL SETBACK REQUIREMENTS			
MINIMUM FRONT SETBACK	42'	42'	0'
MINIMUM SIDE SETBACK	10'	10'	0'
MINIMUM REAR SETBACK	20'	20'	0'
LAND USE INTENSITY RATIOS			
MAX F.A.R.	NONE	NONE	NA
MINIMUM LIVABLE SPACE RATIO	NONE	NONE	NA
MINIMUM OPEN SPACE REQUIREMENT	20%	20%	0%
MINIMUM FORMAL OPEN SPACE REQUIREMENT	3%	3%	0%
MAX HEIGHT	75'	45'	-30'

REQUESTED EXCEPTIONS:

- 1.) Requesting an exception to the Murfreesboro Design Guidelines for building architecture to allow the building to be utilized as is. Additions will meet Design Review Standards.
- 2.) Requesting an exception to minimum area between parking and property lines to reduced from 8' to 5' for existing parking areas only.
- 3.) Requesting an exception to exclude any additional base of building landscaping requirements based on the recommendations of the Department of Homeland Safety for educational facilities.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
NOVEMBER 19, 2025
PROJECT PLANNER: STEPHEN ANTHONY**

9. a. **Mandatory Referral [2025-716] to consider the abandonment of a drainage and detention easement on property located along Captain Joe Fulghum Drive, Michael Hazlett applicant.**



In this mandatory referral, the Planning Commission is being asked to consider the abandonment of a drainage easement and detention easement for Michael Hazlett on Lot 9, Swanson Development Subdivision on Captain Joe Fulghum Drive. City Engineering Department determined that the easement appears to be in excess and has no facilities within it. Based on the drainage calculations prepared by Huddleston-Steele Engineering, Inc stamped by Joe Manly Thweatt on 10-31-25, the easement is not required for detention.

An exhibit showing the location of the proposed easement abandonment is included in the agenda materials as is a letter from Michael Hazlett and Huddleston-Steele Engineering.

Staff recommends that the Planning Commission forward a recommendation of approval to the City Council, subject to the following conditions:

1. The applicant shall provide legal descriptions and exhibits necessary for the City to draft the necessary legal instrument(s). In addition, the legal document should be subject to the final approval of the legal instrument(s) by the City Attorney.
2. The applicant will be responsible for recording the legal instrument(s), as well as the payment of the recording fee.

B&T LLC

PO Box 331973
MURFREESBORO, TN 37133

October 3, 2025

Re: Mandatory Referral Application

To Whom It May Concern:

We are requesting abandoning a 70' wide portion of the platted Drainage Easement and Detention Area on Lot 9, Swanson Development Subdivision on Cpt Joe Fulghum Drive.

Please let me know if there is any additional information needed or if there are any questions on this request. I can be reached by email at michael.hazlett@oldhickorybuildings.com or by phone at (615) 300-2594.

Thank you,



Michael Hazlett

Property Description
Lot 9, Samsonite Development Subdivision
Tax Map 102, Part of Parcel 18.08
Plat Book 48, Page 129

Drainage Easement Abandonment

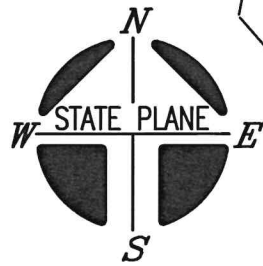
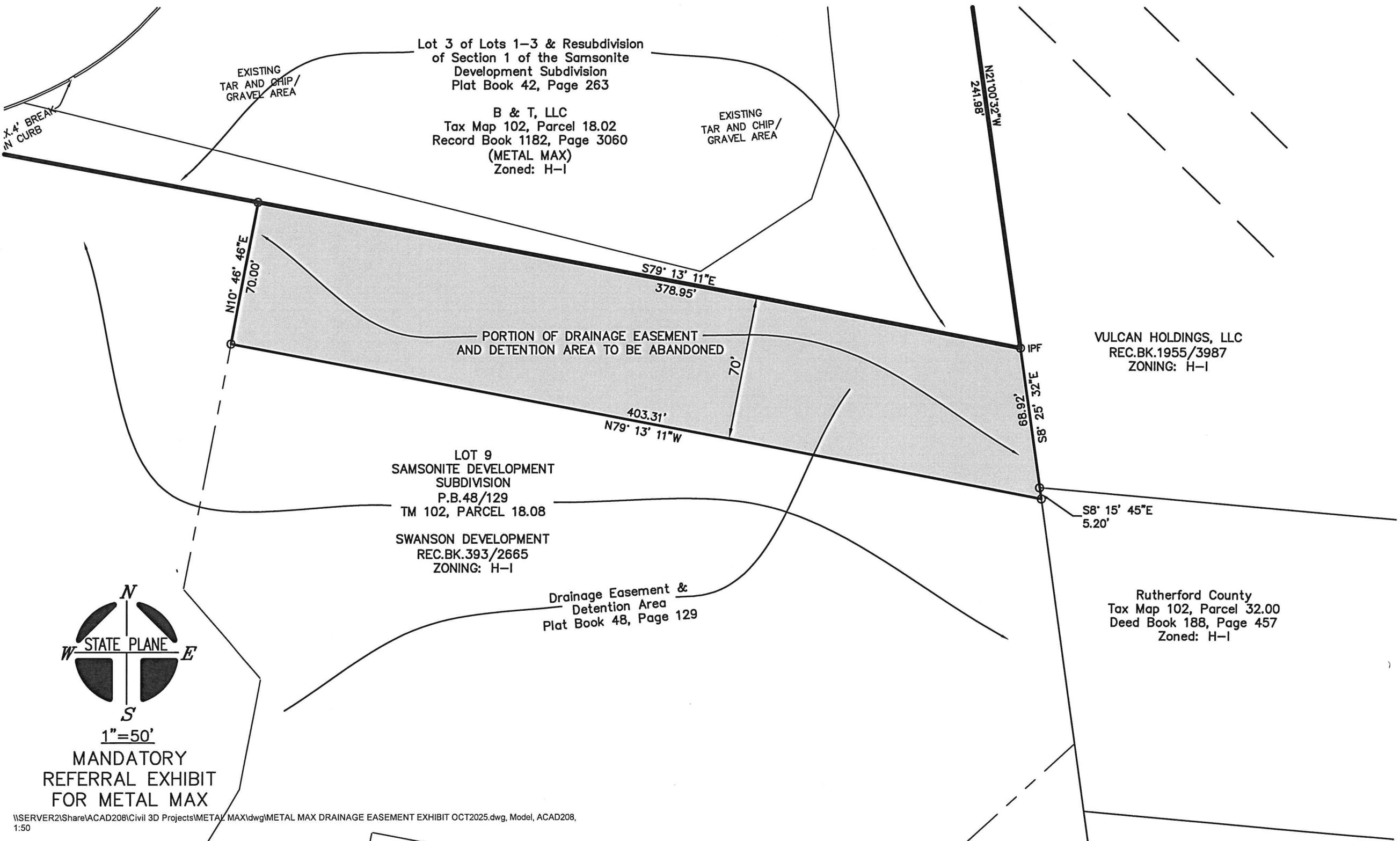
Located in the 13th Civil District of Rutherford County, Tennessee. Bound on the north by B&T, LLC (Record Book 1182, Pae 3060); on the east by Vulcan Holdings, LLC (Record Book 1955, Page 3987) and Rutherford County (Deed Book 188, Page 457), and on the south and west by the remaining property of Lot 9, Samsonite Development Subdivision (Plat Book 48, Page 129).

Beginning at an iron pin found in the northeast corner of Lot 9, Samsonite Development Subdivision and the southeast corner of B&T, LLC; thence along a west line of Vulcan Holdings, LLC S08°25'32"E, 68.92 feet to a point; thence continuing along the west line of Rutherford County S08°15'45"E, 5.20 feet to a point; thence along a north line of remaining property of Lot 9, Samsonite Development Subdivision N79°13'11"W, 403.31 feet to a point; thence along an east line of said remaining property N10°46'46"E, 70.00 feet to a point; thence along a south line of B&T, LLC S79°13'11"E, 378.95 feet to the **Point of Beginning**, containing 0.63 acres, more or less.

This easement is subject to all other easements and/or restrictions either recorded or by prescription that a complete title search may reveal.

Prepared by:
Huddleston-Steele Engineering, Eng.
2115 Northwest Broad Street
Murfreesboro, Tennessee 37129





1"=50'

MANDATORY
REFERRAL EXHIBIT
FOR METAL MAX